

**VAR25-03 1993 N. State St., Walmart Supercenter Lot 2, Thomas English Real Estate, Applicant,** - requests a variance of development standards to allow a drive-thru and dumpster enclosure in a front yard, zoned CN Commercial North, 2.15 acres +/-

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**EXHIBITS:**

Civil plans file dated June 18, 2025



Aerial Map of Proposed Project Location

**Surrounding Uses**

- North: "CN" Commercial North, Retail
- South: "CN" Commercial North, Restaurant
- East: "CN" Commercial North, Retail
- West: "CN" Commercial North, Banking

**Site History**

The building on this site was built in approximately 2005 and has been a restaurant for the entirety of its use. The surrounding area has been further developed in the interim years with retail and restaurants, eventually being designated as "CN" or Commercial North Gateway zoning during the adoption of the UDO and rezoning of the city. Since the restaurant closed towards the end of 2023, it has sat unoccupied.

**Current Proposal**

The current Development Plan Proposal is to remodel the location into 2 tenant spaces. The first and primary space will be occupied by a banking establishment. The second tenant space is proposed to be retail. The proposal also includes a landscape plan.

They have proposed a two-lane drive-thru on the east side of the building which fronts Melody Ln. One of the lanes will have a pneumatic tube system for teller interaction. The other lane will have only an ATM. The drive-thru will have a total of 8 stacking spaces between the two lanes. They have also proposed placing their dumpster enclosure on the east side of the property. The layout of these amenities places them both with a front yard.

Section 155.054 Drive-Thru facilities and vehicle Dependent Uses, states that all drive-thru components shall be in a side or rear yard only. Section 155.064 Fences, Appurtenant Structures and Screening requires dumpsters to be in a side or rear yard only.

**VARIANCE FINDINGS**

**Section 155.093 (B) of the Zoning Ordinance of Greenfield addresses variances from development standards. "The Board of Zoning Appeals shall approve or deny variances from the development standards (such as height, bulk, or area) of the Zoning Code, unless already heard by the Plan Commission during the platting process. In approving variances, the Board of Zoning Appeals may attach such conditions to the variances as it deems necessary to assure compliance with the purpose of the Zoning Ordinance. If the conditions of the variance are not completely and continuously adhered to after the granting of the variance, the property and/or owner may be subject to enforcement actions and revocation of the terms of approval. A variance may be approved under this section only upon a determination in writing that:"**

**(1) The approval will not be injurious to the public health, safety, morals, and general welfare of the community.**

**Findings:** The proposal **would not** be injurious to the public health, safety, morals and general welfare of the community. This site is unusual as it does not have a rear yard but instead has three front yards. Considering the unique circumstance of the site, staff finds that the proposed locations for the dumpster enclosure and drive-thru are appropriate. The landscape plan indicates a robust screen on east side of the parking to buffer these amenities from the right-of-way.

**(2) The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.**

**Findings:** The proposal **would not** affect the adjacent area in a substantially adverse manner. The dumpster enclosures and drive-thrus at the restaurant uses to the south of the proposed site are on the east side of their properties. The placement of the dumpster enclosure and drive-thru on the east side of this property will be in line with the other uses within the subdivision.

**(3) The strict application of the terms of the Zoning Ordinance will result in practical difficulties in the use of the property.**

**Findings:** A strict application of the Ordinance **would** result in practical difficulty. This site is unusual as it does not have a rear yard but instead has three front yards. While the dumpster enclosure and drive-thru could be placed in the side yard, it would then be more visible from the main thoroughfare North State St. which is a part of the entrance to the community.

**(4) There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply generally to the other property or class of use in the same vicinity and district.**

**Findings:** Extraordinary conditions **do** exist for this property. This site is unusual as it does not have a rear yard but instead has three front yards. While the dumpster enclosure and drive-thru could be placed in the side yard, it would then be more visible from the main thoroughfare North State St. Staff finds that placement on the east side of the property allows for a more attractive gateway into the community.

**All variance approvals shall be considered to be conditional approvals. The Board shall have the authority to impose specific conditions as part of its approval in order to protect the public health, and for**

reasons of safety, comfort, and convenience (e.g., to ensure compatibility with surroundings.) Variance approval applies to the subject property and may be transferred with ownership of the subject property dependent upon the provisions and conditions prescribed by or made pursuant to the Zoning Ordinance.

Section 155.093, 2, A of the Zoning Ordinance of Greenfield states that “A variance may be approved under this section only upon a determination in writing that [the above four criteria]” are met in the petitioner’s favor. If the Board does not ascertain findings in the Petitioner’s favor in all criteria, then it may not legally approve the variance.

**Staff Recommendation:** Approve the variances to allow the dumpster enclosure and drive-thru in a front yard with the following condition:

- 1. All necessary permits shall be obtained prior to construction.

CONSTRUCTION PLANS FOR:  
FIFTH THIRD BANK

1993 N. STATE ST.  
CITY OF GREENFIELD, HANCOCK COUNTY, INDIANA  
SW 1/4, SECTION 29, TOWNSHIP 16N, RANGE 7E



COUNTY LOCATION MAP

NOT TO SCALE



SITE VICINITY & ZONING MAP

NOT TO SCALE

PLANS PREPARED FOR:

PETERSON ARCHITECTURE  
298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060  
Contact Person: DARREN PETERSON  
317-770-9714  
DPETERSON@PETERSONARCHITECTURE.COM

OPERATING AUTHORITIES:

<b>City of Greenfield Planning</b> 10 S. State St. Greenfield, IN 46140 317-477-4320	<b>City of Greenfield Engineering</b> 10 S. State St. Greenfield, IN 46140 317-477-4320	<b>City of Greenfield Streets</b> 900 West Tague Street Greenfield, IN 46140 317-477-4380	<b>City of Greenfield Power and Light</b> 333 S Franklin St, Greenfield, IN 46140 (317) 477-4370
<b>Water, Sewer, Gas - City of Greenfield Utilities</b> 10 S State St, Greenfield (317) 477-4330	<b>Hancock County Soil and Water Conservation District</b> 1101 W Main St N, Greenfield, IN 46140 317-462-2283	<b>City of Greenfield MS4</b> 10 S State St, Greenfield (317) 477-4330	<b>AT&amp;T - Fiber Optic</b> 4625 West 86th St. Suite 500 Indianapolis, IN 46268 (317) 713-8947

GENERAL NOTES:

- THE CONSTRUCTION PLANS SHALL GOVERN OVER ANY OTHER FORM OF MEDIA, WHICH INCLUDES DIGITAL FILES OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE & FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. ONCE ALL UTILITIES HAVE BEEN LOCATED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DRAWINGS.
- BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS FOR THE GOVERNING MUNICIPALITY REQUIREMENTS.
- MAINTENANCE OF TRAFFIC NEEDED FOR THIS PROJECT SHALL BE INSTALLED AND MAINTAINED PER INDOT SPECIFICATIONS / STANDARD DRAWINGS, INDOT DESIGN MANUAL, AND THE INDIANA MUTCD MANUAL, ALONG WITH GOVERNING MUNICIPALITY REQUIREMENTS. COORDINATE WITH THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO START OF CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- ALL GRADES AT THE BOUNDARY SHALL MEET EXISTING GRADES.
- NO WORK SHALL BE CONSTRUCTED OFFSITE UNLESS SHOWN OR DENOTED OTHERWISE WITHIN THESE PLANS.
- NO CONSTRUCTION WORK SHALL BE PERFORMED WITHIN THE ADJACENT OR ONSITE WATER TRIBUTARIES / WATERCOURSES UNLESS SHOWN AND DENOTED AS SUCH OTHERWISE WITHIN THESE PLANS.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO ANY EXISTING TREES UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE IS TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE O.S.H.A. STANDARDS FOR WORKERS SAFETY.
- BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.

SITE DATA:

TOTAL SITE ACREAGE - 2.15 AC.  
TOTAL ACREAGE OF DISTURBANCE - 0.15 AC.  
GROSS SQUARE FOOTAGE OF BUILDING - 5,420 S.F. (EXISTING)

PROPOSED CONSTRUCTION START - AUGUST 1, 2025  
PROPOSED CONSTRUCTION END - DECEMBER 30, 2025  
WORK IS SCHEDULED TO BE COMPLETED IN ONE CONTINUOUS CONSTRUCTION PHASE.

SURVEY CONTROL AND VERTICAL DATUM  
(BENCHMARK) INFORMATION:

- SURVEY CONTROL BY OTHERS: FRITZ ENGINEERING SERVICES (SEE ATTACHED SURVEYS FOR ADDITIONAL INFORMATION)
- HORIZONTAL DATUM: NAD83
- COORDINATE SYSTEM / BASIS OF BEARING: INDIANA STATE PLANE EAST
- VERTICAL DATUM: NAVD83
- PUBLISHED / CHECK-IN BENCHMARK: SEE SURVEY
- ORTHOMETRIC HEIGHT (ELEVATION) = SEE SURVEY

SPECIFICATIONS:

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE GREENFIELD STANDARDS, DETAILS, AND SPECIFICATIONS (STANDARDS), LATEST EDITIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- INDIANA STATE DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD DRAWINGS AND SPECIFICATIONS, LATEST EDITIONS, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS (SUPPLEMENTAL SPECIFICATIONS AND DETAILS).
- WATER WATER STANDARDS, DETAILS, AND SPECIFICATIONS, LATEST EDITIONS, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS AS IT PERTAINS TO WATER LINE CONSTRUCTION.
- WATER AND GREENFIELD FIRE DEPARTMENT STANDARDS, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED FOR ALL ALL FIRE PROTECTION WATER LINES AND APPURTENANCE CONSTRUCTION AS IT RELATES TO THIS PROJECT.
- SANITARY SANITARY SEWER STANDARDS, DETAILS, AND SPECIFICATIONS, LATEST EDITIONS, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS AS IT PERTAINS TO SANITARY MAINS AND LATERAL CONSTRUCTION.
- THE INDIANA MUTCD MANUAL, LATEST EDITION, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS.

MAINTENANCE OF TRAFFIC (MOT) NOTES:

ALL MAINTENANCE OF TRAFFIC SHALL BE DESIGNED TO, FOLLOW, AND BE INSTALLED PER THE INDIANA MUTCD MANUAL, INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) SPECIFICATIONS AND STANDARD DRAWINGS, AND INDOT DESIGN MANUAL.

SIGNS & PAVEMENT MARKING NOTES:

ALL SIGNS AND PAVEMENT MARKINGS AND STRIPING SHALL MEET THE CURRENT EDITION OF THE INDIANA MUTCD MANUAL, TRAFFIC CONTROL FOR BICYCLE FACILITIES, AND INDOT STANDARD DRAWINGS AND SPECIFICATIONS AND SHALL BE INSTALLED PER THE INDIANA MUTCD MANUAL, INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) SPECIFICATIONS AND STANDARD DRAWINGS, AND INDOT DESIGN MANUAL.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C101	GENERAL INFORMATION PLAN
V1	SURVEY (BY OTHERS) SHEET 1
V2	SURVEY (BY OTHERS) SHEET 2
V3	SURVEY (BY OTHERS) SHEET 3
C102	EXISTING CONDITIONS & DEMOLITION PLAN
C103	EXISTING CONDITIONS & SURVEY INFO
C201	SITE PLAN
C301	GRADING PLAN
C501	INITIAL EROSION CONTROL SWPPP
C502	MASS GRADING & CONSTRUCTION SWPPP
C503	POST CONSTRUCTION SWPPP
C504	SWPPP SEQUENCING & SOILS INFORMATION
C505	EROSION CONTROL DETAILS
C601	CURB RAMP & ADA BLOW-UP DIAGRAMS
C602	INDOT CURB RAMP DETAILS
C801	GENERAL DETAILS
C802	GREENFIELD GENERAL DETAILS
C901	GENERAL SPECIFICATIONS
L101	LANDSCAPE PLAN

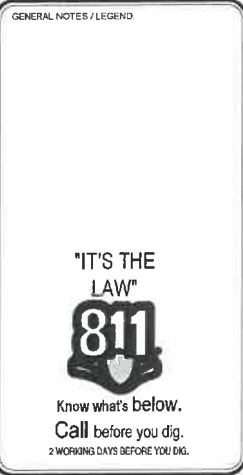
QUANTITIES NOTE:

ANY AND ALL QUANTITY TABLES, NOTES OR VALUES AS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. THE PLANS, DETAILS, AND SPECIFICATIONS GOVERN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ENTIRE CONSTRUCTION SET AND DETERMINE ALL THE FINAL QUANTITIES FOR ALL NECESSARY ITEMS REQUIRED TO COMPLETE THIS PROJECT. THE OWNER OR THE ENGINEER WILL NOT BE HELD LIABLE OR RESPONSIBLE FOR ESTIMATES NOT CONFIRMED BY THE CONTRACTORS. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES ARE FOUND, CONTACT THE ENGINEER IMMEDIATELY.



PRELIMINARY  
NOT FOR  
CONSTRUCTION

REV	PER	TAC	COMMENTS	DATE	BY
1	REV	PER	TAC	COMMENTS	DATE
1	REV	PER	TAC	COMMENTS	DATE







Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CFA	Crosby silt loam, New Castle Ttl Plain, 0 to 2 percent slopes	0.2	8.2%
MnsA	Miami silt loam, 0 to 2 percent slopes	1.1	48.1%
MmB2	Miami silt loam, 2 to 6 percent slopes, eroded	1.0	43.6%
Totals for Area of Interest		2.4	100.0%

### SOILS MAP AND INFORMATION

### National Flood Hazard Layer FIRMette



**FLOOD ZONE:**  
THE PROJECT SITE IS LOCATED WITHIN THE FEMA COMMUNITY PANEL MAP NO. 18059C0134D WITH AN EFFECTIVE DATE OF 12/4/2007. REVIEW OF THE MAP INDICATES THE SITE IS LOCATED WITHIN THE FLOOD DESIGNATION "ZONE X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

### FLOOD MAP & FLOOD ZONE INFORMATION

### DEMOLITION NOTES:

- It shall be the responsibility of the contractor to remove any materials and/or structures not located on this survey.
- It shall be the responsibility of the contractor to verify all existing utilities and their locations pertaining to their phase of work, and to verify which utilities will be removed by the utility company. Any and all utilities not removed by the utility company shall be removed by the contractor.
- Utility locations shown are approximate and shall be relocated and/or capped at the Right-Of-Way line and abandoned before construction at no additional cost to the owner.
- The owner gets the first right of salvage.
- All demolition material not being salvage shall be properly disposed of offsite by the contractor.
- The contractor shall obtain all demolition permits required by the local and state agencies.
- The contractor shall maintain streets and shared drives free and clear of sediment and debris.
- The contractor is responsible for the protection of all existing utility lines unless otherwise stated.
- Contractor shall coordinate all temporary shut down of existing utility services with the appropriate utility department, owner, authority, etc.
- Contractor shall coordinate any necessary street or drive closures required.

### SITE/LAYOUT NOTES:

- See architectural plans for all building dimensions. Any dimensions shown herein shall be considered conceptual.
- All dimensions are to edge of pavement or face of curb, unless noted otherwise.
- All dimensions are to face of brick or facing material, unless noted otherwise.
- All parking area stripes are to be 4 inch white paint. Handicapped parking areas and access aisles shall be 4 inch blue paint.
- Provide smooth transitions from new areas to existing features as appropriate.
- The edge of existing asphalt pavement shall be properly sealed with a tack coat material in all areas where new asphalt pavement is indicated to join existing pavement.
- Provide chamfer ends at curbs.
- Verify sign locations & sign requirements with local governing municipality. Signs shall meet Indiana MUTCD Manual and specifications.

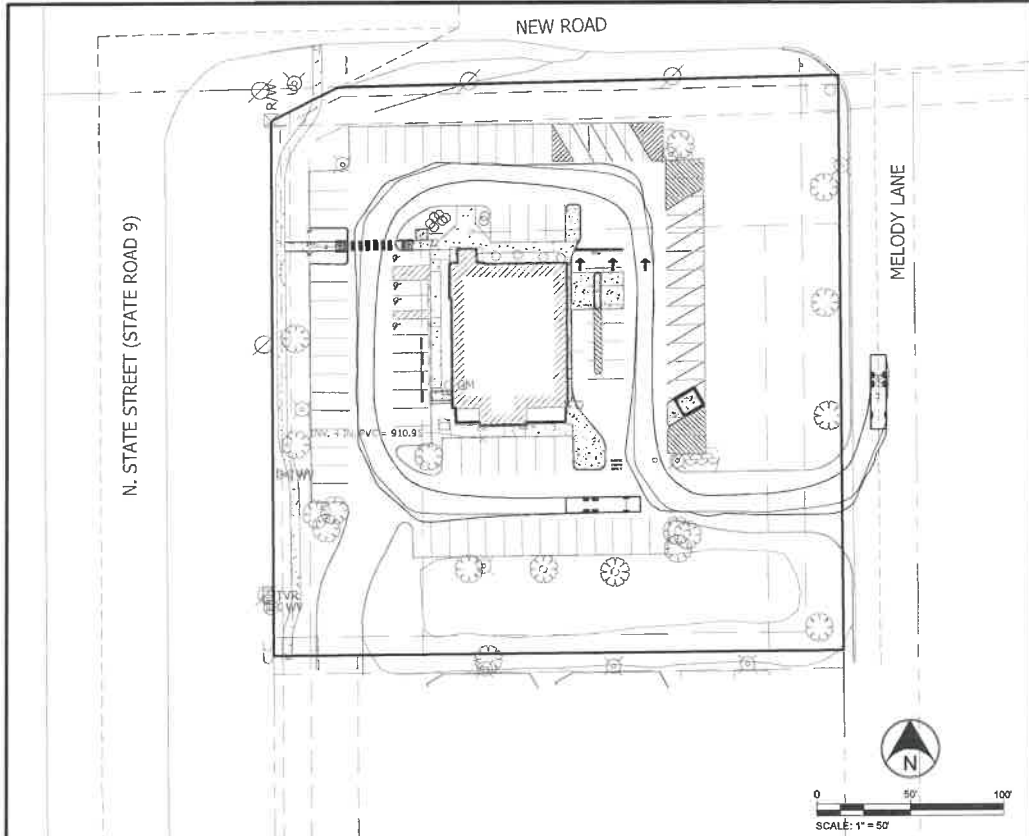
### GRADING NOTES:

- Earthwork & grading shall not start until erosion control measures have been properly installed.
- Occupational safety and health administration (OSHA) standards for excavations, Final Rule 29 CFR Part 1926, subpart "P" applies to all excavations exceeding five (5) feet in depth.
- Provide positive drainage that assures no ponding in all areas. After installation, contractor to test for, and correct, if any, standing water conditions are present.
- All proposed spot elevations are the final pavement and grade elevations. See appropriate details and specifications to determine the subgrade elevations below finish grade elevations for construction.
- All sanitary manholes in non-paved areas shall be 3" above grade.
- The maximum slope to be used in non-paved areas shall be 3:1 unless specifically noted otherwise.
- Minimum swale slopes are 1.0% unless noted or graded otherwise.
- All A.D.A. parking spaces & access aisles shall be level with surface slopes not to exceed 2% (1:50) in any direction as which to comply with A.D.A. requirements.
- ADA sidewalk ramps shall meet ADA requirements and INDOT standard drawings and specifications.
- All sidewalks cross slopes shall not exceed 2% (1:50) unless noted otherwise.
- Provide smooth transitions from new areas to existing features as appropriate.
- All grades shall match existing grades at the project property lines / limits.

### UTILITY NOTES:

- The utilities indicated on these construction plans and on the survey may not be a complete inventory of all existing utilities currently on or near the site. The size and location of these utilities may be approximate. The engineer shall not be held liable for any inaccurate utility information indicated, or not indicated on this survey.
- For viewing clarity of these construction plans, the pipes, structures, and appurtenances may not be drawn to scale.
- Coordinate with Architect / M.E.P. and corresponding utility companies for exact size, type, and location for the electric, telephone, gas, fiber optic, and water line services. Utility service providers may require installation of onsite conduits. Contractor shall coordinate requirements for conduits including number, location, pull string, etc. with respective utility providers prior to bidding.
- Location of the utility service connections into the buildings are approximate. See Architectural / M.E.P. plans for exact locations.
- The contractor is responsible for coordinating with the utility companies for connection of the proposed utility lines for this project site.
- Contractor shall coordinate final location of transformers and primary service to transformers with utility at time of service request. Contractor shall provide transformer pads as required by utility company.
- The underdrains depicted on these plans for the storm structures located within the pavement are 10 liner feet minimum (unless specified otherwise within the plans) of 6 inch diameter perforated HDPE pipe. All underdrains shall maintain 18 inches of vertical and 10 feet of horizontal separation from all water and sanitary lines as measured from the outside of pipe walls.
- Underdrains shall have a minimum slope of 1.0% and inverts shall be set a minimum of 6 inches above the outlet pipe, unless noted otherwise.
- All storm HDPE pipe (except for underdrains or underground storage facilities) shall be N-12 (smooth walled) pipe, unless noted otherwise.
- A minimum of 54 inches of cover over the entire water line shall be provided unless the water service utility company requires more stringent (deeper) specifications, and if so, the contractor shall meet those water company specifications.
- All proposed water lines and sanitary lines / laterals shall have a minimum of 18 inches of vertical separation be maintained when crossing under or over each other, any other utilities, and storm sewer pipes and appurtenances.
- All proposed water lines and sanitary lines / laterals shall have a minimum horizontal separation from pipe exterior to pipe exterior of 10 linear feet from each other and from storm sewers and appurtenances.
- Full depth granular backfill required for all water lines, sanitary sewers, and storm sewers under and within 5 feet of pavement / hardscapes.
- All private hydrants shall have an isolation valve installed at the point of branching.
- When connections are to be made to existing piping and structures, or where construction is in the vicinity of existing piping, structures, or appurtenances, the exact locations and elevations of the existing piping, structures and / or appurtenances shall be field verified onsite by the contractor prior to construction. If any discrepancies are found, then the engineer shall be notified immediately. Fritz Engineering Services, LLC shall not be responsible for any discrepancies that may arise between the plan information and actual field verified information as determined from any final onsite investigation from the contractor.

### GREENFIELD FIRE DEPARTMENT TRUCK / VEHICLE AUTOTURN DIAGRAM



### ABBREVIATIONS AND TERMS

- IE / INV = INVERT ELEVATION
- BC = BOTTOM OF CURB
- TC = TOP OF CURB
- RM = RIM / TOP OF CASTING
- GUT = GUTTER
- RCP = REINFORCED CONCRETE PIPE
- HDPE = HIGH DENSITY POLYETHYLENE PIPE
- SSD = SUB-SURFACE DRAIN
- UD = UNDERDRAIN
- MH = MANHOLE
- STR = STRUCTURE
- DE = DRAINAGE EASEMENT
- RD&UE = REGULATED DRAIN AND UTILITY EASEMENT
- DS&UE = DRAINAGE AND UTILITY EASEMENT
- SD&UE = SANITARY, DRAINAGE, AND UTILITY EASEMENT
- W&UE = WATER AND UTILITY EASEMENT
- SE = SANITARY EASEMENT
- SN = SANITARY SEWER
- HAN = HANDICAP RAMP
- ME = MATCH EXISTING
- STM = STORM SEWER
- MPE = MINIMUM PAD ELEVATION
- NP = NORMAL POOL
- ELEV = ELEVATION
- TYP = TYPICAL
- PR = PROPOSED
- EX = EXISTING
- R = RADIUS
- B-B = BACK TO BACK
- ROW or RW = RIGHT OF WAY
- LF = LINEAR FEET

### PROPOSED LEGEND

- HYDRANT
- VALVE
- TEE
- ADAPTER
- BEND
- TEMP. FLUSH HYDRANT
- BLOW-OFF
- THRUST BLOCK
- PLUG
- REDUCER
- M.J. SLEEVE
- CROSS
- WATER METER
- POST INDICATOR VALVE
- FIRE CONNECTION
- TRANSFORMER PAD
- RELOCATED ELECTRIC/TELEPHONE POLE
- SIGN
- HANDICAP PARKING
- CLEAN OUT
- STORMTECH STORM CHAMBER
- SEWER MANHOLE
- STORM COMBINATION INLET
- STORM GRATE INLET
- STORM BEEHIVE/YARD DRAIN
- STORM END SECTION
- BMP/AQUA-SVRL
- STORM STRUCTURE NUMBER
- FLOW LINE, PAVEMENT
- FLOW LINE, SWALE (GRASS)
- FOUNDATION DRAIN
- CABLE TV LINE\*\*
- ELECTRIC LINE\*\*
- FIBER OPTIC LINE
- SUB-SURFACE DRAIN
- STORM UNDERDRAIN
- STORM SEWER
- SANITARY SEWER
- FORCE MAIN
- GAS LINE
- TELEPHONE LINE\*\*
- WATER LINE
- \*\*PREFIX FOR UTILITY LINES:  
UG - UNDERGROUND  
OH - OVERHEAD
- FLOW ARROW
- EXISTING CONTOURS
- PROPOSED CONTOURS
- FLOW LINE ELEVATION
- SPOT ELEVATION
- HIGH POINT ELEVATION
- LOW POINT ELEVATION
- TOP/BOTTOM CURB ELEVATION
- TOP/BOTTOM WALL ELEVATION
- ME - MATCH EXISTING GRADE

### F.E.S. TOPOGRAPHIC LEGEND

- CONTOUR LINE
- DRAIN LINE
- FENCES
- FIELD DIVISION
- GARDEN & LANDSCAPING
- VEGETATION (HEDGE - BUSH - PLANT) ROW
- WOODS/BRUSH LINE
- WATERS EDGE & FLOW LINE
- WATER FLOW LINE / DITCH LINE
- GUARDRAIL
- RIPRAP
- RAILROAD
- ELECTRIC TRANSFORMER
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND CABLE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND STORM (DRAINAGE) SEWER
- UNDERGROUND COMBINATION SEWER
- UNDERGROUND SANITARY SEWER
- UNDERGROUND SEWER MISC. (UNKNOWN TYPE)
- HOUSE / BUILDING
- CONCRETE PAVEMENT / SIDEWALK
- ASPHALT PAVEMENT
- GRAVEL / STONE

### SURVEY CONTROL

- SURVEY CONTROL
- TEMP. BENCHMARK
- SURVEY POINT I.D.

### PROPERTY

- GATE POST
- FENCE POST
- RIGHT-OF-WAY MONUMENT
- AIR CONDITIONING UNIT
- BOLLARD - CONCRETE
- BOLLARD - WOOD
- COLUMN / SUPPORT POST
- FLAG POLE
- SINGLE MAILBOX
- DOUBLE MAILBOX
- MULTIPLE MAILBOX
- SATELLITE DISH
- GAS STATION MANHOLE
- GAS STATION MONITORING WELL

### SANITARY

- CISTERN
- GREASE INTERCEPTOR
- GRINDER PUMP
- SANITARY CLEANOUT
- SANITARY LATERAL STUB MARKER
- SANITARY MANHOLE
- MISC. OR COMBINE SEWER STR.

### WATER

- SEPTIC TANK
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- POST INDICATOR VALVE
- SPRINKLER HEAD
- WELL

### UTILITY APPURTENANCES

- INDICATES UTILITY TYPE
- CABINET
- MANHOLE
- METER
- PERISTAL
- RISER
- VALVE TUB
- VALVE
- VENT PIPE
- WARNING MARKER
- UTILITY DESIGNATIONS ("#")
- C / TV - CABLE
- G - GAS
- SS - SANITARY
- E - ELECTRIC (ELEC.)
- I - IRRIGATION
- T - TELEPHONE (TELE.)
- FM - FORCE MAIN
- S - SPRINKLERS
- R / RR - RAILROAD
- U - UTILITY
- W - WATER

**FRITZ**  
ENGINEERING SERVICES  
14020 MISSISSINNEWA DRIVE  
CARMEL, INDIANA 46033  
P. 317.324.8695 F. 317.324.8717  
www.Fritz-Eng.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS AND ISSUES	DATE	BY

### GENERAL NOTES / LEGEND

IT'S THE  
LAW  
**811**  
Know what's below.  
Call before you dig.  
2 WORKING DAYS BEFORE YOU DIG.

PROJECT:  
**FIFTH THIRD  
BANK**  
PROJECT LOCATION:  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW 1/4, S29, T16N, R7E

CLIENT:  
**PETERSON ARCHITECTURE**  
298 S. 10TH ST., STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE: 4/29/2025  
DESIGN: AF CHECK: AF DRAWN: KG  
PROJECT NO.: 2411004  
SHEET NAME: GENERAL INFORMATION PLAN  
SHEET NO.: C101

PREPARED BY: Fritz Engineering Services, LLC  
DATE: 4/29/2025  
PROJECT: 2411004  
SHEET: C101  
SCALE: 1" = 50'

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TOPOGRAPHIC LEGEND

CONTOUR LINE

DRIP LINE

FENCES

FIELD DIVISION

GARDEN & LANDSCAPING

VEGETATION (HEDGE - BUSH - PLANT) ROW

WOODS/BRUSH LINE

WATERS EDGE AND FLOW LINE

WATER FLOW LINE / DITCH LINE

GUARDRAIL

RIPRAP

RAILROAD

OVERHEAD UTILITY

UNDERGROUND ELECTRIC

UNDERGROUND WATER

UNDERGROUND CABLE

UNDERGROUND FIBER OPTIC LINE

UNDERGROUND TELEPHONE

UNDERGROUND WATER (DRAINAGE) SEWER

UNDERGROUND COMBINATION SEWER

UNDERGROUND SANITARY SEWER

UNDERGROUND SEWER MISC. (UNKNOWN TYPE)

HOUSE / BUILDING

CONCRETE PAVEMENT / SIDEWALK

ASPHALT PAVEMENT

GRAVEL / STONE

SURVEY CONTROL

TEMP. BENCH MARK

SURVEY POINT I.D.

PROPERTY

POST FENCE POST

1" T" POST

R/W RIGHT-OF-WAY MONUMENT

AIR CONDITIONING UNIT

BOLLARD - CONCRETE

BOLLARD - WOOD

COLUMN / SUPPORT POST

FLAG POLE

SINGLE MAILBOX

DOUBLE MAILBOX

MULTIPLE MAILBOX

SATELLITE DISH

GAS STATION MANHOLE

GAS STATION MONITORING WELL

SANITARY

CISTERN

GREASE INTERCEPTOR

GRINDER PUMP

SANITARY CLEANOUT

SANITARY LATERAL STUB MARKER

SANITARY MANHOLE

MISC. OR COMBINE SEWER STR.

WATER

SEPTIC TANK

FIRE DEPARTMENT CONNECTION

FIRE HYDRANT

POST INDICATOR VALVE

SPRINKLER HEAD

WELL

UTILITY APPURTENANCES

INDICATES UTILITY TYPE

CABINET

MANHOLE

METER

PEDISTAL

RISER

UTILITY TUB

VALVE

VENT PIPE

WARNING MARKER

UTILITY DESIGNATIONS ("#")

TV - CABLE

GAS

SANITARY

ELECTRIC (ELEC.)

IRRIGATION

TELEPHONE (TELE.)

FORCE MAIN

SPRINKLERS

TRAFFIC

FIBER OPTICS

R / RR - RAILROAD

UTILITY

WATER

TREES / VEGETATION

BUSH

STUMP

CONIFEROUS TREE

DECIDUOUS TREE

SIGNS / STRIPING / TRAFFIC

DELINEATOR POST

CONCRETE BOLLARD

PEDESTRIAN SIGNAL POLE

HANDICAP SYMBOL

RAILROAD SIGNAL

RAILROAD SIGN

ROADWAY SIGN (SINGLE POST)

ROADWAY SIGN (DOUBLE POST)

SIGNAL LOOP DETECTOR BOX

TRAFFIC SIGNAL STRAIN POLE

DRAINAGE / STORM

END SECTION

MISCELLANEOUS STORM STRUCTURE

REG. (LEGAL) DRAIN TILE RISER

ROOF DRAIN DOWNSPOUT

STORM SEWER MANHOLE

WATER QUALITY UNIT

BEE-HIVE INLET

COMBINATION "CURB" INLET

DITCH GRATE INLET

DRAINAGE MANHOLE WITH CURB INLET

GRATE INLET (CIRCLE SHAPE)

GRATE INLET (SQUARE / RECT. SHAPE)

ROLL CURB INLET

SOLID LID STORM CASTING

YARD DRAIN / SMALL PROPERTY DRAIN

ELECTRIC / LIGHTS

ELECTRICAL BOX

LAMP POST (PRIVATE)

LIGHT POLE

ANCHOR FOR GUY ROPE

POLE - GUY OR STUB

POWER POLE / UTILITY POLE

LIGHT ON POWER / UTILITY POLE

METAL TOWER LEG

TRANSFORMER

GENERAL NOTES, UTILITY NOTES AND DISCLAIMERS:

1. Bearing and distance relationships to found monuments on the adjoining properties are shown on the survey map or plat for the purpose of establishing a history of monumentation and to assist in establishing the boundary lines of the subject tracts only. This map or plat does not represent a survey of said adjoining properties.

2. Field measurements for this survey were made in accordance with specifications outlined in 865 I.A.C. 1-12. The decimal places shown hereon for measurements and coordinates do not necessarily indicate the precision of the work, but to allow for closure and adjustment by others if desired.

3. This survey plat or map was prepared without benefit of current evidence of source of title (Title Work or Encumbrance Report not performed) for the subject tracts and therefore subject to any statement of facts revealed by examination of such documents. Easements, legal drains, covenants, right-of-way, etc. shown hereon does not constitute all encumbrances upon these surveyed tracts.

4. For viewing clarity of this map or plat, pipes, structures, and appurtenances may not be drawn to scale.

5. When the field work was performed, access to the house/building was not available. Finish floor elevations (FFE) were field measured at the lip of the doors, and not inside the structure itself. This could result in a slight discrepancy from the true FFE of the structure, and therefore the FFE's are approximate.

6. The utilities indicated on this survey plat may or may not be a complete inventory of all existing utilities currently on or near the site. The size and location of these utilities may be approximate. Indiana 811 was contacted for this survey. Private utility locates were NOT contacted for this survey per the survey scope. No attempt was made as part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility, public service facility, or utility service lines to the property. No excavations were made during the course of this survey to locate underground utilities and/or structures. Only what was marked by the utility companies via Indiana 811 were field located and shown on the survey. No assumptions were made connecting utilities observed and located to other appurtenances or how they enter or connect into adjoining houses or buildings unless observed or identified by Indiana 811. Before design or construction is to begin, locations should be confirmed with the appropriate agencies. Underground utilities depicted on the attached plat of survey have been measured and located per above grade field observations, utility markings, and/or scaled off utility plans only. No warranty, either expressed or implied, is made to the accuracy and/or completeness of information presented on underground utilities, or as to its fitness for any particular purpose or use. In no event will Fritz Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information. The path of the utility lines on said plat of survey should be considered approximate until they are either relocated, by calling Indiana 811 and other utility locate companies, or until they are excavated to verify the location and path of the utility lines.

7. Unless otherwise stated, sewer measurements were performed with limited access. Field measurements were determined as physically observed (sometimes with limited visibility) and without confined space entry. Pipe sizes and measurements under certain conditions may be provided from other sources (as stated) in electronic format via GIS data or from record drawings provided by other agencies.

8. Storm, sanitary, or combined sewers were located per visible, observed evidence only. Excavations of sewers, or corresponding structures, were not conducted by Fritz Engineering Services, LLC.

9. Sewer pipe lengths as shown per this survey are from each field located shot of the structures and are not shortened or lengthened to adjust for the size, orientation, or shape of structures, and therefore the pipe lengths as depicted on this survey are approximate.

10. Measure down data (Structure Details) for sewer structures is considered approximate, and while extensive effort was made to get all pertinent information and measurements for each sewer structure, physical and safety issues do cause limitations in the ability to always collect and measure accurately the field data associated with each structure. Depth, orientation, and condition of the structures and incoming pipes can make determining sizes, material types, and inverts difficult to determine or evaluate. Fritz Engineering Services, LLC employees do not enter sewer structures to collect and measure data due to safety, health, and liability issues. Fritz Engineering Services, LLC, its employees, agents, and/or assigns shall not be held liable or their work be considered incomplete if discrepancies are found between the measure down data collected for this project and onsite field checks and/or observations performed by other parties. For some sewer structures, the accuracies for inverts may have an uncertainty up to 0.5 feet and pipe sizes may vary up or down one pipe size.

11. Monuments were set this survey at all corners where no existing monumentation was found except as noted. Monuments that were set as an offset were set as such due to existing conditions (trees, utilities, buildings, watercourses) making it unrealistic or impossible to set the monuments.

12. When fences or other lines of occupation are shown on the plat, they have been located only at the ends or specific locations noted; therefore, for the purpose of this survey, such lines are assumed to run straight between said locations, but in actuality may vary slightly from such straight line.

13. Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of overhead or underground containers or facilities that may affect the use or development of this tract.

14. No warranty, either expressed or implied, is made as to the accuracy and/or completeness of information provided by governmental authorities and/or third parties, or as to its fitness for any particular purpose or use, including but not limited to information presented on zoning, setback requirements, flood hazard zones, and wetlands areas. In no event will Fritz Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information.

15. This survey plat has been prepared for use on this particular project and for the exclusive use of the person(s) or entity herein named and is not certified for use by any other party. The evidence, possession, ownership, conditions, etc. could change constantly and the use of this survey is limited only to the data indicated herein.

UTILITY REQUEST (INDIANA 811) NOTES:

Indiana 811 was requested via their website on 11/19/2024. The Indiana 811 ticket numbers are as follows: 2411190456

Per the Indiana 811 ticket, the follow utilities may be located near or onsite:

COMCAST (cable tv)

CENTERPOINT ENERGY (gas)

MCI (fiber)

NINE STAR CONNECT (telephone)

EVERSTREAM, LLC (communications, fiber)

GREENFIELD UTILITIES (electric, sewer, water)

AT&T (communications)

See the "Utility Notes and Disclaimers" in regards to the location of utilities and how this item relates to the survey.

IT'S THE LAW

811

Know what's below.

Call before you dig.

2 WORKING DAYS BEFORE YOU DIG.

PROJECT LOCATION

36

40

52

9

3

4.8

11.6

7.7

3.3

5.3

2.7

3.6

4.1

6.5

6.7

11.6

1001

2000

1000

249

Wilkinson

Willow Branch

Maple Valley

Greenfield

Cleveland

Westland

New Palestine

Spring Lake

Germantown

Philadelphia

Mohawk

Mount Comfort

Anderson

Julietta

its

aker

VICINITY MAP

(NOT TO SCALE)

U.S.P.L.S.S. SECTION MAP

(MAP NOT TO SCALE)

STATE MAP

(NOT TO SCALE)

National Flood Hazard Layer FIRMette

Legend

Without Base Flood Elevation (BFE) Zone A & BFD With BFE or Depth Zone A, AE, AH, VE, VE1, VE2 Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depths less than one foot or with average areas of less than one square mile Zone X

Other Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levees, See Notes, Zone X

Area with Flood Risk due to Levees, Zone X

NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMs

OTHER AREAS Area of Undetermined Flood Hazard Zone X

GENERAL Channel, Culvert, or Storm Sewer Levee, Dike, or Floodway

OTHER FEATURES Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transverse Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transverse Baseline Profile Baseline Hydrographic Feature

MAP PANELS Digital Data Available No Digital Data Available Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The map shown complies with FEMA's base map accuracy standards.

The flood hazard information is derived directly from the authoritative NHDPlus web services provided by FEMA. This map was prepared on 11/20/2024 at 4:03 PM. And does not reflect changes or amendments subsequent to this date and time. The NHDPlus and effective information may change or become superseded by new data over time.

This map image is void if this one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifier, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

UTILITY REQUEST (INDIANA 811) NOTES:

Indiana 811 was requested via their website on 11/19/2024. The Indiana 811 ticket numbers are as follows: 2411190456

Per the Indiana 811 ticket, the follow utilities may be located near or onsite:

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EVERSTREAM, LLC (communications, fiber)

GREENFIELD UTILITIES (electric, sewer, water)

AT&T (communications)

See the "Utility Notes and Disclaimers" in regards to the location of utilities and how this item relates to the survey.

SUBJECT TRACT LAND DESCRIPTION:

Per Instrument Number 202401862 (Office of the Recorder of Hancock County, Indiana). Ownership per Deed and Hancock County Parcel Report: ECC State Street LLC

Please note, any errors (spelling, grammar, intent, etc.) or omissions in the land description is not a representation of Fritz Engineering Services, LLC (FES). FES did not create the land description, but said land description is shown below exactly as worded / written per the deed of record and/or title commitment.

Lot 2 in Wal-Mart Supercenter, an addition to the City of Greenfield, Indiana, as per plat thereof, recorded January 10, 2001, in Plat Cabinet C, Slide 39, as Instrument No. 0100351, in the Office of the Recorder of Hancock County, Indiana.

Together with a non-exclusive easement for vehicular and pedestrian ingress and egress as set out in a grant of access easement from Wal-Mart Real Estate Business Trust to O'Charley's, Inc., dated May 21, 2004 and recorded June 11, 2004 as Instrument Number 040008836; as amended by First Amendment to Access Easement dated January 7, 2015, and recorded January 29, 2015 as Instrument Number 201500827, all in the Office of the Recorder of Hancock County, Indiana.

SURVEY SHEET INDEX

SHEET NAME

PAGES

COVER, MAPS, LAND DESCRIPTION, AND INFORMATION SHEET

1

RETRACEMENT BOUNDARY SURVEY PLAT

2

SURVEYOR'S REPORT AND CERTIFICATION

3

FRITZ ENGINEERING SERVICES

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CARMEL, INDIANA 46033  
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F: 317.324.8717  
www.Fritz-Eng.com

MONUMENTATION LEGEND

MON. SET C.R. MONUMENT SET, CAPPED REBAR

MON. SET MAG. MONUMENT SET, MAG NAIL WITH STAMPED WASHER

CHISEL "X" CHISEL "X" SCRIBED / CUT AS SET MONUMENT

SET PROPERTY CORNER MONUMENTS TO BE:

24 IN. x 3/8 IN. DIA. REBAR WITH STAMPED PINK CAP SET FLUSH WITH GRADE OR WHERE CORNER IS ON HARDSCAPE, A MAG NAIL WITH STAMPED WASHER.

MONUMENT STAMPING: "FRITZ ENG. BOUNDARY FIRM # 0152"

MON. SET REF. PT. REFERENCE MONUMENTS UTILIZED FOR OFFSETS

# OFFSET POINTS IN RELATIONSHIP TO P.L. CORNERS NOT ABLE TO BE SET IN FIELD. "#" INDICATES OFFSET DISTANCE IN FEET.

REFERENCE MONUMENT / OFFSET POINTS TO BE:

24 IN. x 5/8 IN. DIA. REBAR WITH STAMPED YELLOW CAP SET FLUSH WITH GRADE OR WHERE CORNER IS ON HARDSCAPE, A MAG NAIL WITH STAMPED WASHER.

MONUMENT STAMPING: "FRITZ ENG. REFERENCE POINT FIRM # 0152"

BOUNDARY SURVEY LEGEND

SURVEY POINT / MONUMENT NUMBER I.D.

RECOVERED MONUMENTS

U.S.P.L.S.S. SECTION CORNER LOCATION

ALIGNMENT POINT (RECOVERED OR CALC.)

RECOVERED RIGHT-OF-WAY MONUMENT

BOUNDARY CORNER MONUMENT

U.S.P.L.S.S. SECTION CORNER DELINEATION SYMBOL

"#" INDICATES SECTION NUMBER

KEYNOTE

PARCEL I.D.

GATE POST

FENCE POST

STATION OFFSET LABEL

"#" = ALIGN. NAME

SURVEY BOUNDARY LINE

U.S.P.L.S.S. SECTION LINE

ALIGNMENT

APPARENT CENTERLINE

EXISTING R/W OR LIMITED ACCESS R/W

APPARENT R/W OR APPARENT R.E.R. (R.W.)

APPARENT ADJACENT P.L. / LOT LINES

APPARENT EASEMENT

APPARENT REGULATED (LEGAL) DRAIN

SURVEY LINE / APP. DEED LINE

FENCES

WATERS EDGE

WOODS LINE

HOUSE / BUILDING

ASPHALT PAVEMENT

CONCRETE PAVEMENT / SIDEWALK

MISC. MATERIAL

ABBREVIATIONS

B.L. = BOUNDARY LINE

APP. = APPARENT

EX. = EXISTING

R/W or ROW = RIGHT-OF-WAY

LL. = LIMITED ACCESS

REG. = REGULATED

B.S.L. = BUILDING SET-BACK

ESMT. = EASEMENT

V.W. = VARIABLE WIDTH

NO. = NUMBER

INSTR. = INSTRUMENT

P.O.B. = POINT OF BEGINNING

L.C.R.S. = LOCATION CONTROL ROUTE SURVEY

INDOT = INDIANA DEPT. OF TRANSPORTATION

CALC. = CALCULATED

REC. = RECORDED

MEAS. = MEASURED

DEED = RECORDED DEED

PLAT = RECORDED PLAT

SURV. = RECORDED SURVEY

A.M.P. = AUDITOR / ARBITRARY SUB. MAP

TITLE = TITLE COMMITMENT

SUB. = SUBDIVISION PLAT

G.I.S. = GEOGRAPHIC INFORMATION SYSTEM

PLANS = PUBLISHED OR RECEIVED PLANS

RT. / LT. = RIGHT / LEFT

L. = LENGTH

R. = RADIUS

T. = TANGENT

CL. = CENTERLINE

ALIGN. = ALIGNMENT

B.A. = BEG. OF ALIGNMENT

E.A. = END OF ALIGNMENT

P.C. = POINT OF CURVATURE

P.T. = POINT OF TANGENCY

P.I. = POINT OF INTERSECTION

P.O.C. = POINT ON CURVE

P.O.T. = POINT ON TANGENT

P.C.C. = POINT OF COMPOUND CURVE

P.R.C. = POINT OF REVERSE CURVE

M.D. = MIDPOINT

CHORD = CHORD

B-B = BACK TO BACK

L.F. = LINEAR FEET

BLD. = BUILDING

HC = HANDICAP SPACE

R. = FLOW LINE / DITCH LINE

ELEV. = ELEVATION

A.G. / B.G. = ABOVE / BELOW GRADE

DIA. = DIAMETER

FND. = FOUND

MON. = MONUMENT

RETRACEMENT BOUNDARY SURVEY

CLIENT:

PETERSON ARCHITECTURE

298 S. 10TH ST., #500 NOBLESVILLE, IN 46060

PROJECT ADDRESS:

1993 NORTH STATE STREET

GREENFIELD, IN 46140

PREPARED BY: NIKOLAS M. SCHMITT

FRITZ ENGINEERING SERVICES, LLC

DATE: 01/21/2025

LAST DATE OF RESEARCH:

01/12/2025

ANALYSIS BY: NMS

DRAFTED BY: JC

SURVEY STATUS

FINAL

PROJECT NUMBER: 2411004

DATE: 01/21/2025

LAST DATE OF FIELD WORK:

11/21/2024

CREW CHIEF: JC

CHECKED BY: NMS

SHEET NUMBER

1 OF 3

PRINTED BY: FRITZ ENG. 11/21/2024 11:21 AM  
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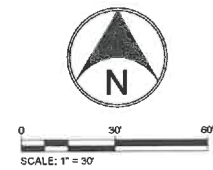















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www.Fritz-Eng.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

1. REV PER TRC COMMENTS	6/9/2025	AF
REVISIONS AND ISSUES	DATE	BY

GENERAL NOTES / LEGEND



PROJECT

FIFTH THIRD BANK

PROJECT LOCATION  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW 1/4, S29, T16N, R7E

CLIENT

PETERSON ARCHITECTURE

288 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE

4/29/2025

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO.

2411004

SHEET NAME

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO.

C102

KEY NOTES:

1 REMOVE EXISTING PAVEMENT, HARDSCAPES, AND CURB AS REQUIRED.

5 SAW CUT CURB / PAVEMENT.

6 REMOVE EXISTING CURB.

8 REMOVE EXISTING SHRUB/TREE.

21 PROTECT EXISTING UTILITY / LIGHT POLE.

22 REMOVE EXISTING SIGN POLE.

23 PROTECT EXISTING STORM / SANITARY / UTILITIES THROUGHOUT CONSTRUCTION.

24 EXISTING SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.

25 UTILITIES TO REMAIN. PROTECT DURING CONSTRUCTION.

26 PAVEMENT / CURB / WALK TO REMAIN.

28 EXISTING TREE/SHRUB TO REMAIN.

NOTES

1. FOR PRE-CONSTRUCTION / DEMOLITION EROSION CONTROL MEASURES, SEE EROSION CONTROL SHEET C501 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

2. FOR ANY ROADWAY WORK, COORDINATE WITH THE LOCAL MUNICIPALITY STREET DEPARTMENT / DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION. MAINTENANCE OF TRAFFIC (M.O.T.) REQUIRED FOR ALL ROADWAY / RIGHT-OF-WAY WORK. MAINTENANCE OF TRAFFIC SHALL BE ACCORDANCE WITH THE INDIANAN MUTCD MANUAL, INDOT DESIGN MANUAL, INDOT SPECIFICATIONS AND STANDARD DRAWINGS, AND ANY ADDITIONAL REQUIREMENTS FROM THE LOCAL MUNICIPALITY OF THE CORRESPONDING ROADWAY.

3. CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES PRIOR CONSTRUCTION. ALL DEMOLITION OR REMOVAL OF EXISTING UTILITIES, RELOCATION OF UTILITIES, OR PROPOSED CONNECTIONS TO EXISTING UTILITIES SHALL BE COORDINATED WITH AND APPROVED BY THE CORRESPONDING UTILITY COMPANY PRIOR TO ANY WORK.

4. ALL REMOVAL, HANDLING, STORAGE, AND DISPOSABLE OF ALL REQUIRED ITEMS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS AND REQUIREMENTS.

EXISTING UTILITY & SEWER DISCLAIMER:

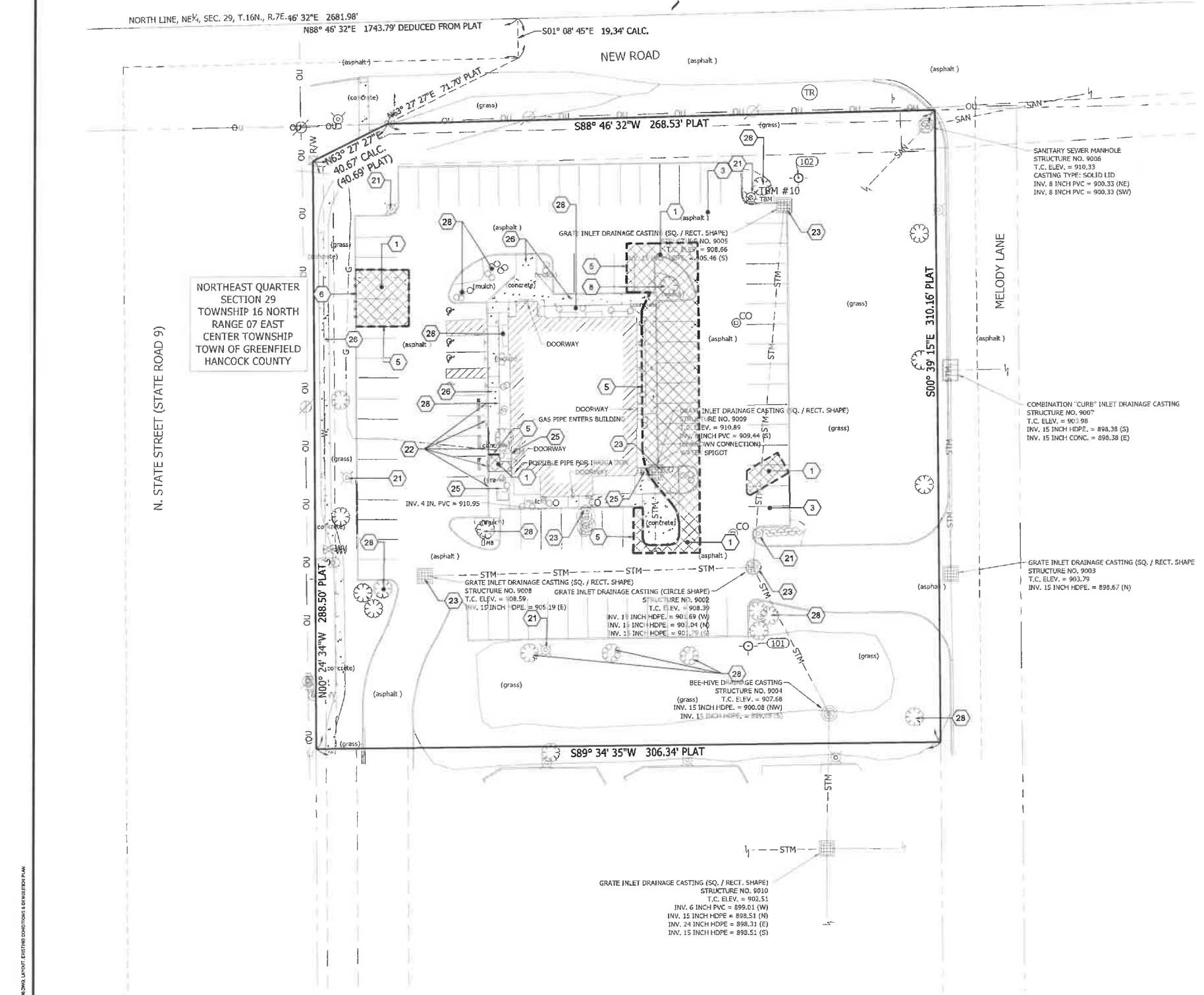
UTILITY LOCATIONS, CROSSINGS, DEPTHS, AND INFORMATION ARE APPROXIMATELY SHOWN. THIS INCLUDES ALL SEWER (SANITARY, STORM, AND COMBINE) LOCATIONS AND MEASURE DOWN INFORMATION. LOCATIONS ARE SHOWN PER INDIANA 811 MARKINGS AS LOCATED BY THE SURVEYOR (BY OTHERS), G.I.S. DATA (IF AVAILABLE), AND UTILITY COMPANY CORRESPONDENCE (IF ANY). ALL UTILITY LOCATIONS, SIZES, MATERIALS, INVERT, DEPTHS, LENGTHS, ETC. ARE CONSIDERED APPROXIMATE AND MAY BE SKEPTICAL IN NATURE.

THE UTILITIES INDICATED ON THESE PLANS MAY NOT BE A COMPLETE INVENTORY OF ALL EXISTING UTILITIES CURRENTLY ON OR NEAR THE SITE. THE PATH, SIZE AND LOCATION OF THESE UTILITIES MAY BE APPROXIMATE UNTIL THEY ARE EITHER RELOCATED, BY CALLING INDIANA 811 AND OTHER UTILITY LOCATE COMPANIES, OR UNTIL THEY ARE EXCAVATED TO VERIFY THE LOCATION, DEPTH, AND PATH OF THE UTILITY LINES. LOCATIONS ARE SHOWN PER INDIANA 811 MARKINGS AS LOCATED BY THE SURVEYOR (BY OTHERS), G.I.S. DATA (IF AVAILABLE), AND UTILITY COMPANY CORRESPONDENCE (IF ANY).

NO ASSUMPTIONS WERE MADE CONNECTING UTILITIES OBSERVED AND LOCATED TO OTHER APPURTENANCES OR HOW THEY ENTER OR CONNECT INTO ADJOINING HOUSES OR BUILDINGS UNLESS IDENTIFIED BY THE SURVEYOR PER ON-SITE UTILITY MARKINGS OR AS INDICATED BASED ON G.I.S. / UTILITY PLAN DATA. FRITZ ENGINEERING SERVICES, LLC DID NOT ADD, INTERPOLATE, ASSUME, OR DEPECT ANY UTILITY LINE DIRECTIONS OR CONNECTIONS OUTSIDE WHAT WAS PROVIDED. NO ATTEMPT WAS MADE AS PART OF THIS PROJECT TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY, PUBLIC SERVICE FACILITY, OR UTILITY SERVICE LINES TO THE PROPERTY. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS PROJECT TO LOCATE UNDERGROUND UTILITIES AND/OR SEWER STRUCTURES.

NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE TO THE ACCURACY AND/OR COMPLETENESS OF INFORMATION PRESENTED ON UNDERGROUND UTILITIES AND SEWERS, OR AS TO ITS FITNESS FOR ANY PARTICULAR PURPOSE OR USE. IN NO EVENT WILL FRITZ ENGINEERING SERVICES, LLC, ITS EMPLOYEES, AGENTS, AND/OR ASSIGNS BE LIABLE FOR ANY DAMAGES ARISING OUT OF THE FURNISHING AND/OR USE OF SUCH INFORMATION.

CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL EXISTING UTILITIES WITHIN AREA OF WORK PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS FOUND.



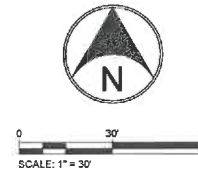
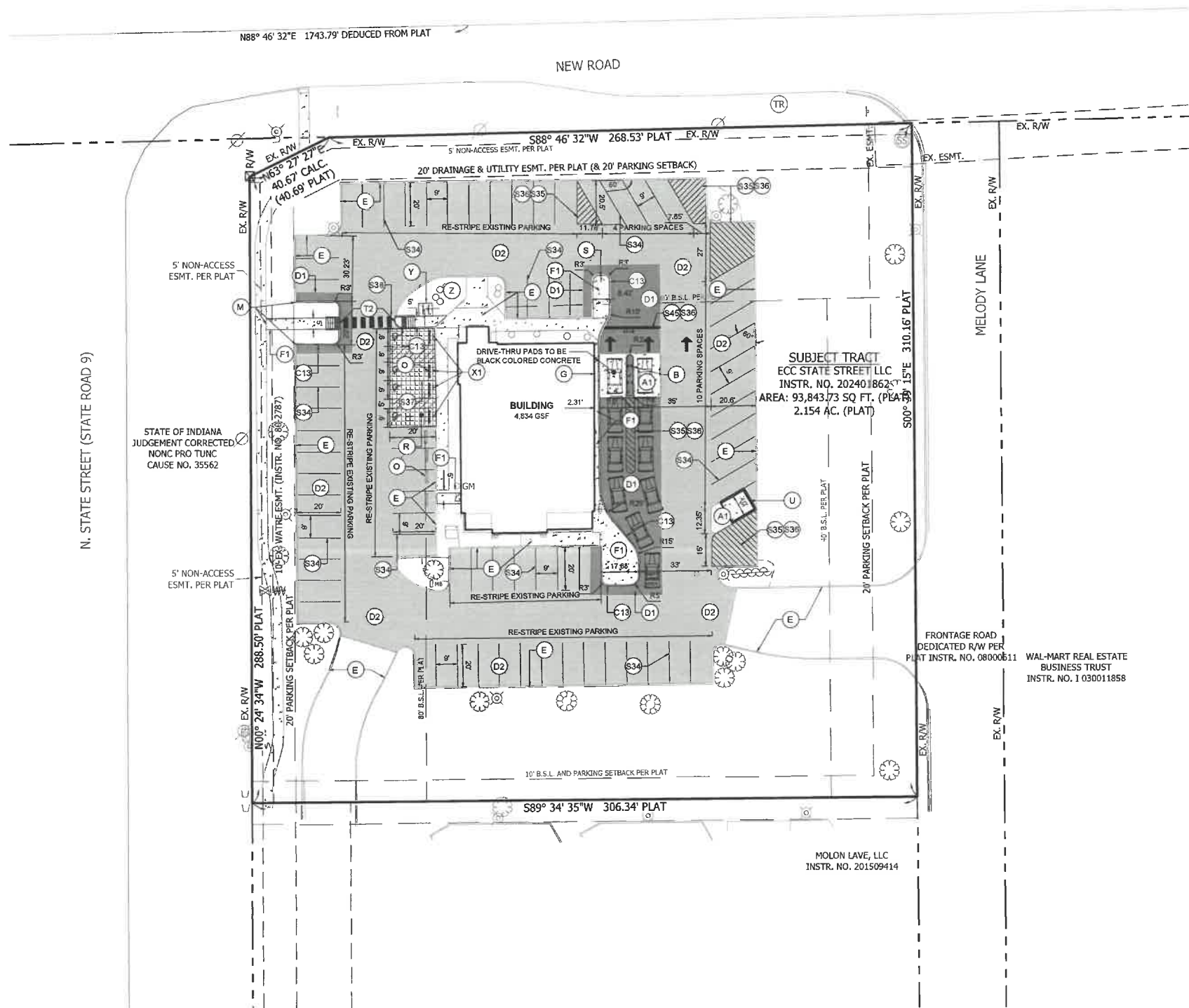
DATE: 4/29/2025  
DRAWN BY: KG  
CHECKED BY: AF  
DESIGNED BY: AF  
PROJECT NO.: 2411004  
SHEET NO.: C102  
Fritz Engineering Services, LLC  
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PRINTED BY: AUSTIN FRIE  
SHEET NAME: C201 SITE PLAN  
DATE: 4/29/2025  
DRAWN BY: AUSTIN FRIE  
CHECKED BY: AUSTIN FRIE  
PROJECT NO.: 2411004  
SHEET NO.: C201



#### KEY NOTES:

- A1 CONCRETE PAVEMENT
- B BOLLARDS (CONCRETE)  
(BOLLARD PLACEMENT DRAWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH ATM GROUP AND OWNERS VENDOR FOR ATM AND VAT BOLLARD LOCATION.)
- C13 CONCRETE 6 INCH "STRAIGHT" CURB
- D1 LIGHT DUTY ASPHALT PAVEMENT
- D2 SEALCOAT EXISTING ASPHALT PAVEMENT
- E EXISTING CURB / PAVEMENT / SIDEWALK TO REMAIN
- F1 CONCRETE/CONCRETE WALK
- G V.A.T. SYSTEM  
(PLACEMENT DRAWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH PNEUMATIC TUBE SYSTEM VENDOR AND OWNER FOR FINAL PLACEMENT.)
- L EXTERIOR LIGHTS, VERIFY FINAL LOCATION WITH PHOTOMETRIC PLAN.
- M MATCH INTO EXISTING
- O CONCRETE WHEEL STOP, TYPICAL  
(CONTRACTOR TO SALVAGE EXISTING BUMPERS AND RE-USE, IF POSSIBLE)
- R 1.5 INCH ASPHALT MILL AND RESURFACE  
WITH 165 LBS / SYS OF HMA 9.5 MM SURF.  
(SEE GRADING PLAN AND ADA DIAGRAMS FOR FINISHED GRADES AND SLOPES REQ'D. FOR ADA ACCESSIBILITY.)
- S "DO NOT ENTER" SIGN
- S34 4 INCH SOLID WHITE PAVEMENT STRIPING (TYP.)
- S35 4 INCH SOLID YELLOW PAVEMENT STRIPING (TYP.)
- S36 PAVEMENT MARKING AS SHOWN
- S37 ADA BLUE PAVEMENT STRIPING AND MARKINGS
- S38 WHITE PAVEMENT CROSSWALK TRANSVERSE MARKING
- S45 24 INCH STOP LINE PAVEMENT MARKING
- T2 FLUSH CURB FOR RAMP TRANSITION
- U DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
- X1 REMOVE AND REPLACE EXISTING SIGN PLAQUES.  
POLES SHALL REMAIN IF COMPLIANT WITH DETAILS ON 0801.
- Y BICYCLE PARKING
- Z LANDSCAPE AREA

**FRITZ**  
ENGINEERING SERVICES

14020 MISSISSINEWA DRIVE  
CARMEL, INDIANA 46033  
P. 317.324.8695 F. 317.324.8717  
www.Fritz-Eng.com

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CONSTRUCTION

REVISIONS AND ISSUES	DATE	BY

GENERAL NOTES / LEGEND

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**811**

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2 WORKING DAYS BEFORE YOU DIG.

PROJECT

**FIFTH THIRD  
BANK**

PROJECT LOCATION  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW 1/4, S29, T16N, R7E

CLIENT

**PETERSON ARCHITECTURE**

298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE  
4/29/2025

DESIGN AF	CHECK AF	DRAWN KG
--------------	-------------	-------------

PROJECT NO.  
2411004

SHEET NAME  
**SITE PLAN**

SHEET NO.  
**C201**

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	STORM MANHOLE
	STORM COMBINATION/CURB INLET
	STORM AREA INLET
	STORM BEEHIVE/YARD INLET
	STORM FLARED END SECTION
	STORM MECHANICAL SEPARATOR (REF. PLAN FOR SIZE/TYPE)
	STORM STRUCTURE NUMBER
	FLOW LINE, SWALE / GRASS
	FLOW LINE, PAVEMENT
	SLOPE / RAMP SLOPE
	SURFACE DRAINAGE FLOW ARROW DIRECTION
	EXISTING CONTOUR AND LABEL
	PROPOSED CONTOUR AND LABEL
	GRADE BREAK
	FLOW LINE / SWALE SPOT ELEVATION
	SPOT ELEVATION
	SPOT ELEVATION, HIGH POINT
	SPOT ELEVATION, LOW POINT
	TC - TOP OF CURB ELEVATION
	BC - BOTTOM OF CURB/GUTTER ELEVATION
	TW - TOP OF WALL ELEVATION
	BW - BOTTOM OF WALL ELEVATION
	CASTING RIM ELEVATION
	MATCH EXISTING ELEVATION
	CONSTRUCTION LIMIT LINE

NOTES:

- REF. C101 FOR ABBREVIATIONS AND ADDITIONAL LEGEND INFORMATION.



PRELIMINARY  
NOT FOR  
CONSTRUCTION

[illegible]

GENERAL NOTES / LEGEND.

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2 WORKING DAYS BEFORE YOU DIG.

PROJECT:

**FIFTH THIRD  
BANK**

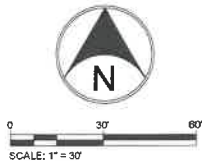
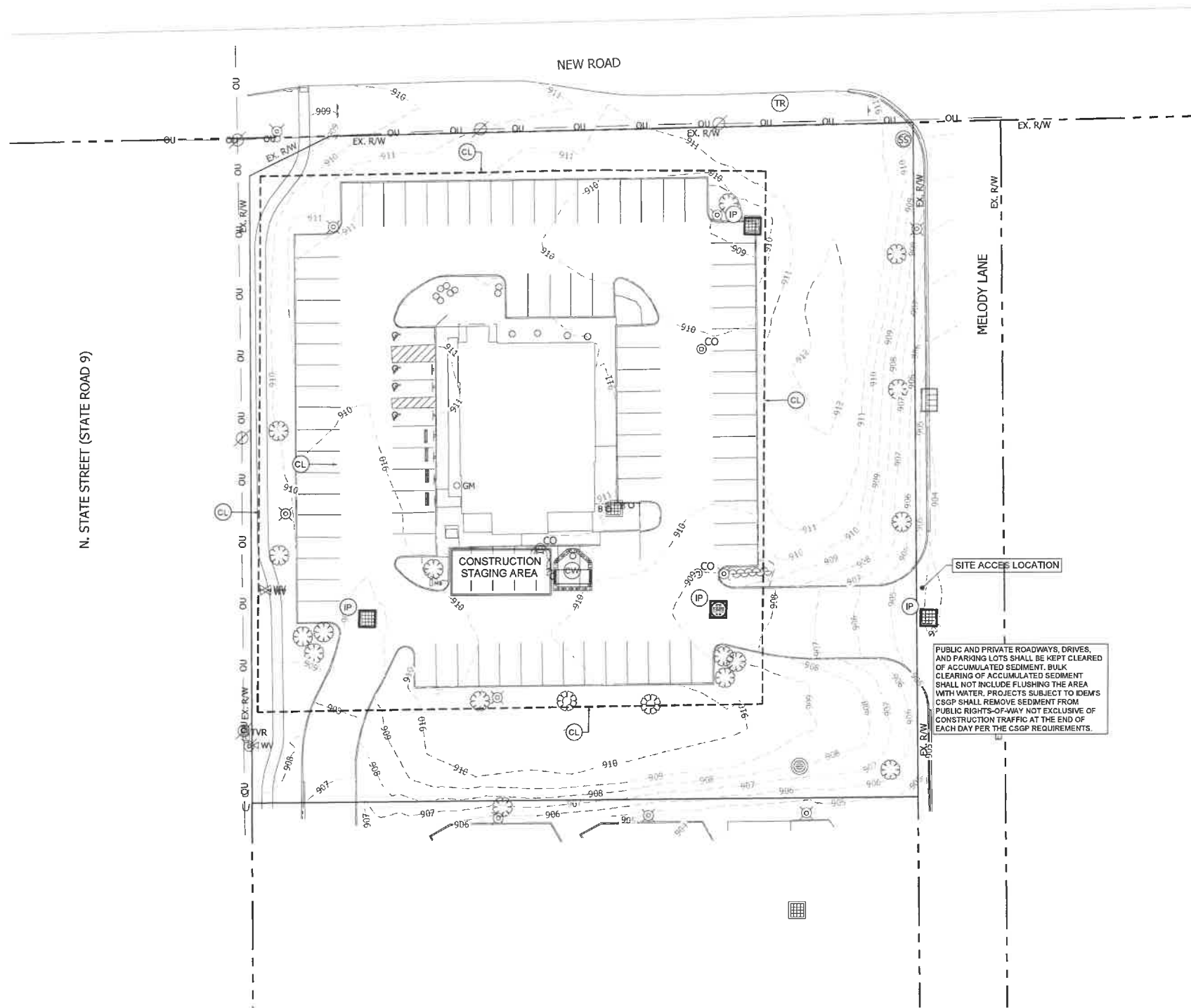
PROJECT LOCATION:  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW  $\frac{1}{4}$ , S29, T16N, R7E

CLIENT  
**PETERSON ARCHITECTURE**  
298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE: <b>4/29/2025</b>		
DESIGN AF	CHECK AF	DRAWN KG
PROJECT NO. <b>2411004</b>		
SHEET NAME: <b>GRADING PLAN</b>		
SHEET NO. <b>C301</b>		

THE SURVEY AND THIS PROJECT ELEVATIONS ARE ESTABLISHED BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE VERTICAL DATUM WAS ESTABLISHED BY THE SURVEYOR PER GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS UTILIZING INCORS NETWORK AND GEOID18. THEREFORE, THE ELEVATIONS, CONTOURS AND GRADES SHOWN ON THIS SHEET AND PLAN SET ARE IN NAVD88.





KEY NOTES:	
IP	INLET PROTECTION
CE	CONSTRUCTION ENTRANCE
PS	PERMANENT SEEDING
TS	TEMPORARY SEEDING
EB	EROSION CONTROL BLANKET WITH PERMANENT SEEDING
SP	SILT PERIMETER PROTECTION (SILT SOCK)
SF	SILT FENCE
CL	EROSION CONTROL LIMITS
CW	CONCRETE WASHOUT
SUB	PAVEMENT SUBBASE
LA	LANDSCAPE PLANTING AREA SEE SHEET L101 FOR PERMANENT E.C. MEASURE
RP	OUTLET RIP-RAP PROTECTION
CD	ROCK CHECK DAM

THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA.

NAME: T.B.D.  
ADDRESS: T.B.D.  
PHONE: T.B.D.  
EMAIL: T.B.D.

LIST OF QUALIFICATIONS:  
CONTRACTOR IS TO INFORM GREENFIELD OF WHOM THIS STORMWATER POLLUTION PREVENTION INDIVIDUAL IS AT THE PRE-CONSTRUCTION MEETING, PRIOR TO ANY EARTH DISTURBING & CONSTRUCTION ACTIVITIES.

THE INDIANA STORM WATER QUALITY MANUAL AND GREENFIELD STANDARDS AND DETAILS SHALL BE USED IN CONJUNCTION WITH THIS SET OF EROSION CONTROL PLANS.

### EROSION CONTROL NOTES:

- All disturbed areas shall be restored to initial / pre-construction conditions and grades. All flow lines shall be re-established and vegetative cover restored. Contractor may be required to extend vegetative restoration period to warmer months to ensure seed germination.
- All erosion control practices shall be in accordance with the "Indiana Storm Water Quality Manual" and the SCS "Field Office Technical Guide".
- The governing municipality has the right to require additional erosion control measures in the field as conditions warrant.
- The storm water quality unit shown on these plans shall be the unit installed during the development of this property. No substitutions shall be permitted.
- There shall be no dirt, debris, or storage of materials in the street or alleyways.
- Public and private roadways, drives, and parking lots shall be kept cleared of accumulated sediment. Bulk clearing of accumulated sediment shall not include flushing the area with water. Projects subject to IDEM's CSGP shall remove sediment from public rights-of-way not exclusive of construction traffic at the end of each day per the CSGP requirements.
- Stabilization shall be initiated by the end of the seventh (7<sup>th</sup>) day the area was left idle. Stabilization must be completed within fourteen (14) days after initiation.
- Additional erosion and sediment control measures may be required by the inspector.
- Copies of the letter of intent and response from the governing municipality office for Construction Stormwater General Permit compliance shall be provided onsite, when required.
- All erosion control materials shall be approved by the governing municipality department prior to installation.
- All proposed erosion and sediment control shall be in conformance with the GREENFIELD Stormwater Design and Specifications Manual and Requirements, latest editions. Discrepancies between the plans and the manual shall not alleviate the contractor from adhering to the requirements set forth in the manual.

### EROSION CONTROL MAINTENANCE SCHEDULE

EROSION CONTROL MEASURE	*MAINTENANCE	INSTALLATION SEQUENCE
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	PRIOR TO CLEARING AND GRADING
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	AFTER EACH INLET IS PLACED
SEED, SOIL & LANDSCAPE AROUND UNITS FINISHED	WATER AS NEEDED	AFTER FINISHED GRADING AROUND FINISHED UNITS
REMOVAL OF INLET PROTECTION	N/A	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABILIZED

\*. SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

\*\*FOR ADDITIONAL EROSION CONTROL INFORMATION AND NOTES, SEE SHEET C504 & C505.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS AND ISSUES DATE BY

GENERAL NOTES / LEGEND

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LAW"  
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PROJECT

**FIFTH THIRD  
BANK**

PROJECT LOCATION:

1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW  $\frac{1}{4}$ , S29, T16N, R7E

CLIENT:

**PETERSON ARCHITECTURE**  
288 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE:

4/29/2025

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO.

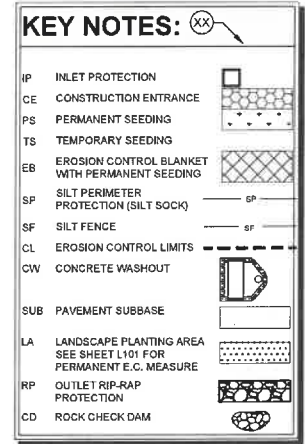
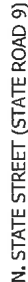
2411004

SHEET NAME

**INITIAL EROSION  
CONTROL SWPPP**

SHEET NO.

**C501**



1. All disturbed areas shall be restored to initial / pre-construction conditions and grades. All flow lines shall be re-established and vegetative cover restored. Contractor may be required to extend vegetative restoration period to warmer months to ensure seed germination.
2. All erosion control practices shall be in accordance with the "Indiana Storm Water Quality Manual" and the "SCS Field Office Technical Guide".
3. The governing municipality has the right to require additional erosion control measures in the field as conditions warrant.
4. The storm water quality unit shown on these plans shall be the unit installed during the development of this property. No substitutions shall be permitted.
5. There shall be no dirt, debris, or storage of materials in the street or alleyways.
6. Public and private roadways, drives, and parking lots shall be kept clear of accumulated sediment. Bulk clearing of accumulated sediment shall not include flushing the area with water. Projects subject to IDEM's CSGP shall remove sediment from public rights-of-way not exclusive of construction traffic at the end of each day per the CSGP requirements.
7. Stabilization shall be initiated by the end of the seventh (7<sup>th</sup>) day the area was left idle. Stabilization must be completed within fourteen (14) days after initiation.
8. Additional erosion and sediment control measures may be required by the inspector.
9. Copies of the letter of intent and response from the governing municipality office for Construction Stormwater General Permit compliance shall be provided onsite, when required.
10. All erosion control materials shall be approved by the governing municipality department prior to installation.
11. All proposed erosion and sediment control shall be in conformance with the GREENFIELD Stormwater Design and Specifications Manual and Requirements, latest editions. Discrepancies between the plans and the manual shall not alleviate the contractor from adhering to the requirements set forth in the manual.

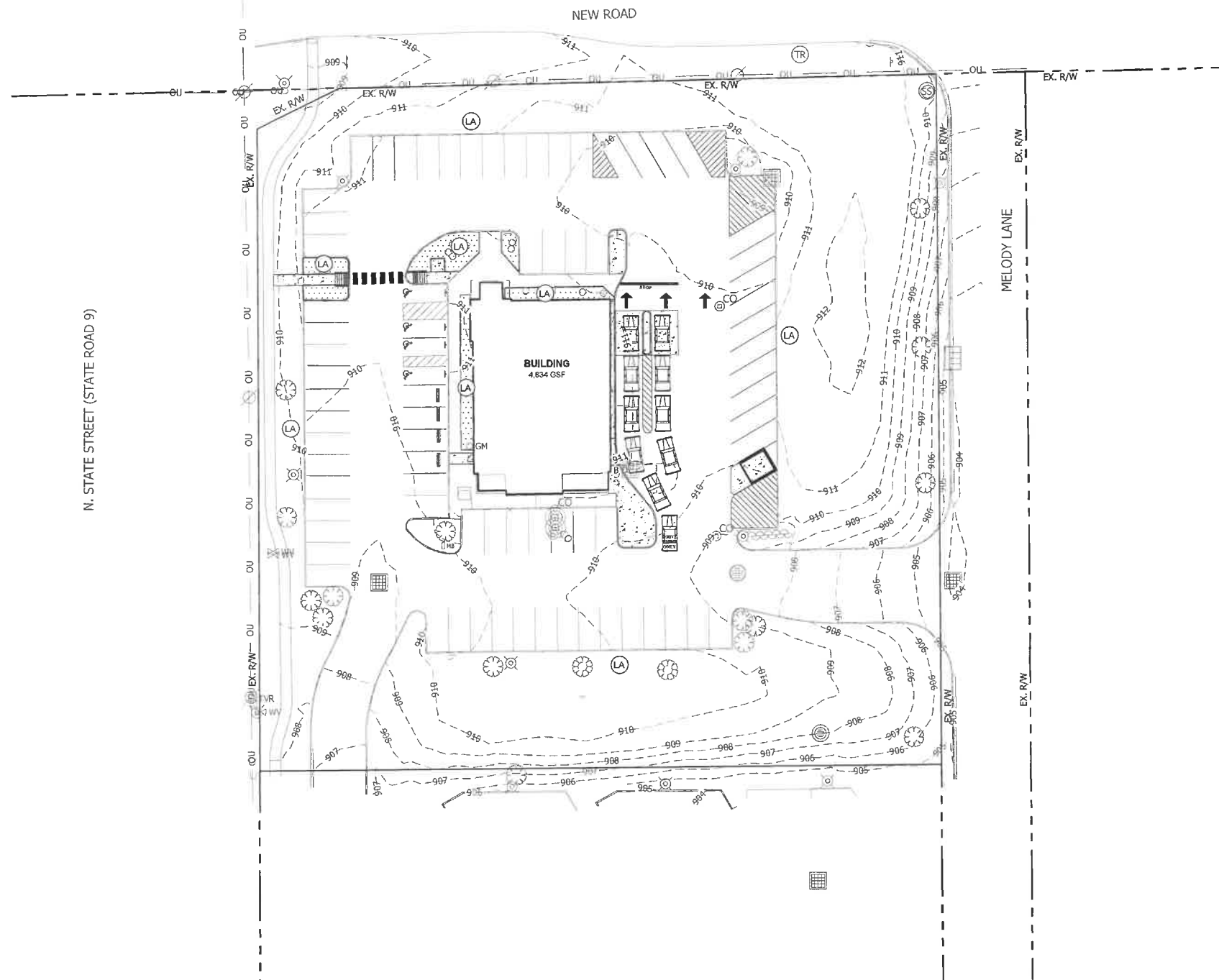
\*\*FOR ADDITIONAL EROSION CONTROL INFORMATION AND NOTES, SEE SHEET C504 & C505.

[illegible]

Know what's below.  
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2 WORKING DAYS BEFORE YOU DIG.

PLAN DATE		
4/29/2025		
DESIGN AF	CHECK: AF	DRAWN KG
PROJECT NO.		
2411004		
SHEET NAME		
MASS GRADING & CONSTRUCTION SWPPP		
SHEET NO.		
C502		





**KEY NOTES:**

IP	INLET PROTECTION	
CE	CONSTRUCTION ENTRANCE	
PS	PERMANENT SEEDING	
TS	TEMPORARY SEEDING	
EB	EROSION CONTROL BLANKET WITH PERMANENT SEEDING	
SP	SILT PERIMETER PROTECTION (SILT SOCK)	
SF	SILT FENCE	
CL	EROSION CONTROL LIMITS	
CW	CONCRETE WASHOUT	
SUB	PAVEMENT SUBBASE	
LA	LANDSCAPE PLANTING AREA SEE SHEET L101 FOR PERMANENT E.C. MEASURE	
RP	OUTLET RIP-RAP PROTECTION	
CD	ROCK CHECK DAM	

THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA:

NAME: T.B.D.  
ADDRESS: T.B.D.  
PHONE: T.B.D.  
EMAIL: T.B.D.

LIST OF QUALIFICATIONS:  
CONTRACTOR IS TO INFORM GREENFIELD OF WHOM THIS STORMWATER POLLUTION PREVENTION INDIVIDUAL IS AT THE PRE-CONSTRUCTION MEETING, PRIOR TO ANY EARTH DISTURBING & CONSTRUCTION ACTIVITIES.

THE INDIANA STORM WATER QUALITY MANUAL AND GREENFIELD STANDARDS AND DETAILS SHALL BE USED IN CONJUNCTION WITH THIS SET OF EROSION CONTROL PLANS.

### EROSION CONTROL NOTES:

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- Stabilization shall be initiated by the end of the seventh (7<sup>th</sup>) day the area was left idle. Stabilization must be completed within fourteen (14) days after initiation.
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- Copies of the letter of intent and response from the governing municipality office for Construction Stormwater General Permit compliance shall be provided onsite, when required.
- All erosion control materials shall be approved by the governing municipality department prior to installation.
- All proposed erosion and sediment control shall be in conformance with the GREENFIELD Stormwater Design and Specifications Manual and Requirements, latest editions. Discrepancies between the plans and the manual shall not alleviate the contractor from adhering to the requirements set forth in the manual.

### EROSION CONTROL MAINTENANCE SCHEDULE

EROSION CONTROL MEASURE	*MAINTENANCE	INSTALLATION SEQUENCE
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	PRIOR TO CLEARING AND GRADING
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	AFTER EACH INLET IS PLACED
SEED, SOIL & LANDSCAPE AROUND UNITS FINISHED	WATER AS NEEDED	AFTER FINISHED GRADING AROUND FINISHED UNITS
REMOVAL OF INLET PROTECTION	N/A	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABILIZED

\* SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

\*\*FOR ADDITIONAL EROSION CONTROL INFORMATION AND NOTES, SEE SHEET C504 & C505.

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CONSTRUCTION

REVISIONS AND ISSUES	DATE	BY
----------------------	------	----

### GENERAL NOTES / LEGEND

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### PROJECT:

**FIFTH THIRD  
BANK**

### PROJECT LOCATION

1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW  $\frac{1}{4}$ , S29, T16N, R7E

### CLIENT

**PETERSON ARCHITECTURE**  
298 S. 10TH ST., STE. 500  
NOBLESVILLE, IN 46060

### PLAN DATE

4/29/2025

DESIGN: AF CHECK: AF DRAWN: KG

### PROJECT NO.

2411004

### SHEET NAME:

**POST CONSTRUCTION  
SWPPP**

### SHEET NO.

**C503**







[illegible]

GENERAL NOTES / LEGEND.

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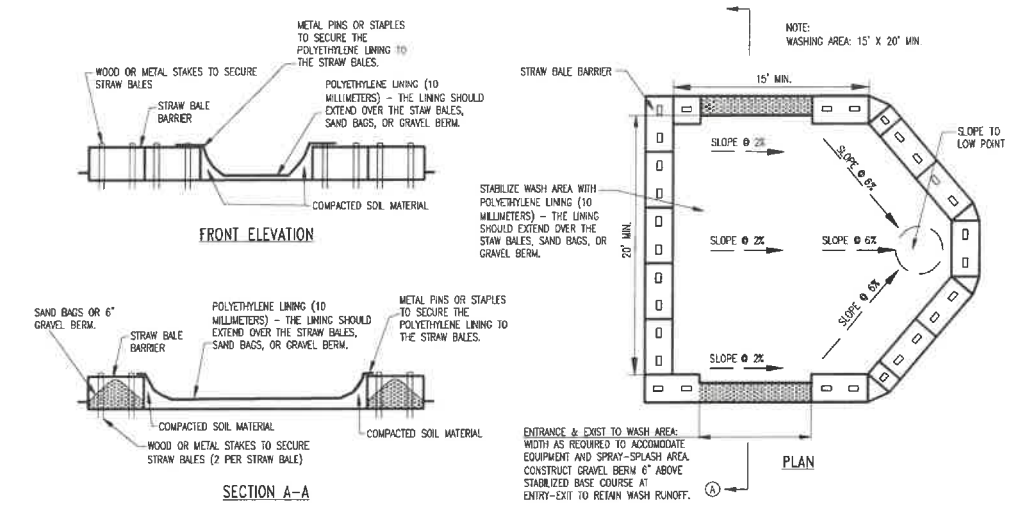
PROJECT.

**FIFTH THIRD  
BANK**

PROJECT LOCATION:  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE:  
SW  $\frac{1}{4}$ , S29, T16N, R7E

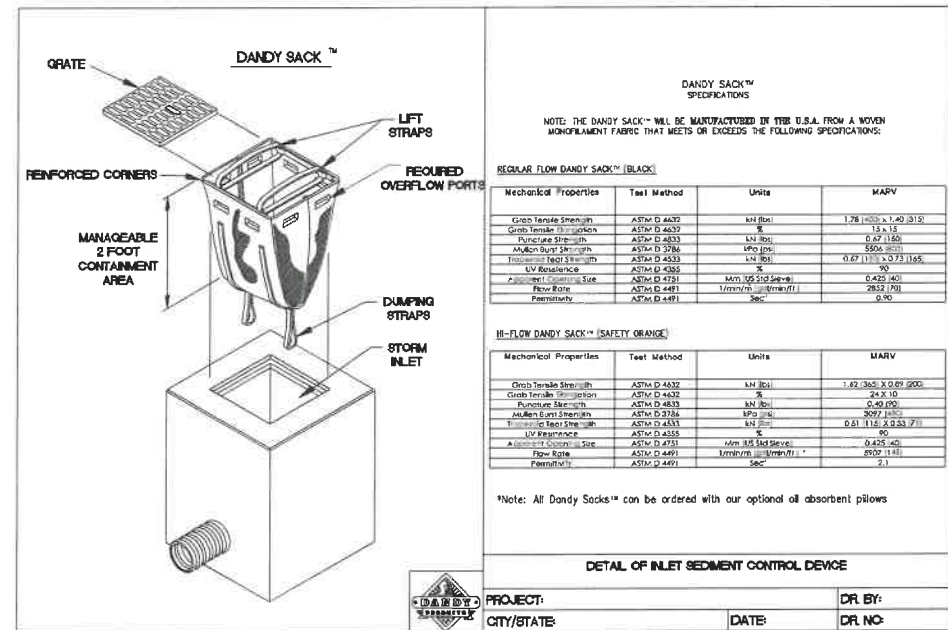
**PETERSON ARCHITECTURE**  
298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE: <b>4/29/2025</b>		
DESIGN/ AF	CHECK AF	DRAWN/ KG
PROJECT NO. <b>2411004</b>		
SHEET NAME <b>EROSION CONTROL DETAILS</b>		
SHEET NO. <b>C505</b>		

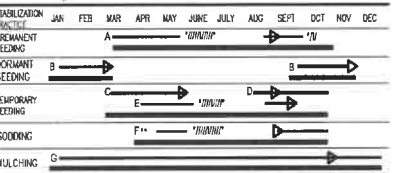


### CONCRETE WASHOUT AREA

NOT TO SCALE



## SEASONAL SOIL PROTECTION CHART:



- KENTUCKY BLUEGRASS 40 LBS/ACRE; CREEPING RED FESCUE 40 LBS/ACRE;  
PLUS 2 TONS STRAW MULCH/ACRE, OR ADD ANNUAL RYEGRASS 20 LBS/ACRE

= KENTUCKY BLUEGRASS 60 LBS/ACRE; CREEPING RED FESCUE 60 LBS/ACRE;  
PLUS 2 TONS STRAW MULCH/ACRE, OR ADD ANNUAL RYEGRASS 30 LBS/ACRE

= SPRING OATS 3 BUSHEL/ACRE

= WHEAT OR RYE 2 BUSHEL/ACRE

- ANNUAL RYEGRASS 40 LBS/ACRE

302

• STRAW MULCH 2 TONS/AC

1/3 IRRIGATION NEEDED DURING JUNE, JULY, AND/OR SEPTEMBER

IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING S

## SEASONAL SOIL SEEDING PROTECTION CHART





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CONSTRUCTION

REVISIONS AND ISSUES

GENERAL NOTES / LEGEND

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PROJECT:

**FIFTH THIRD BANK**

PROJECT LOCATION:  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW  $\frac{1}{4}$ , S29, T16N, R7E

CLIENT:

**PETERSON ARCHITECTURE**  
298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

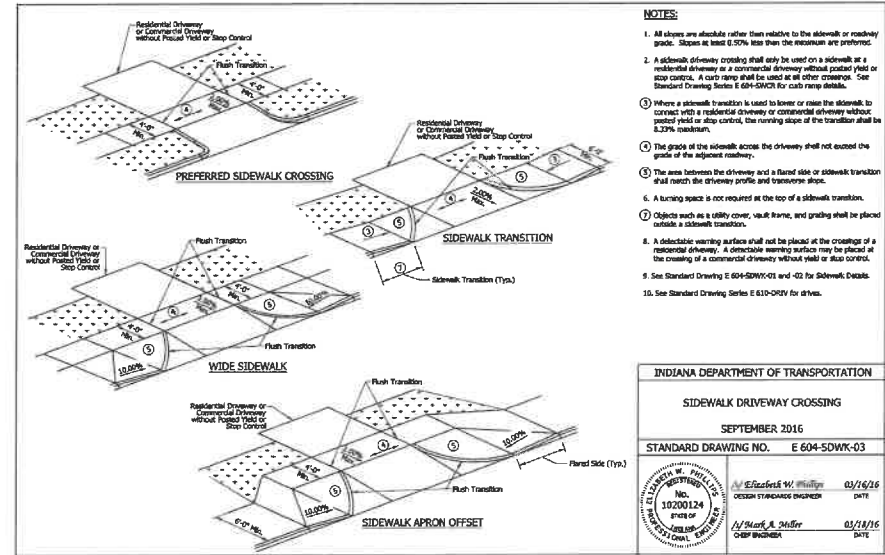
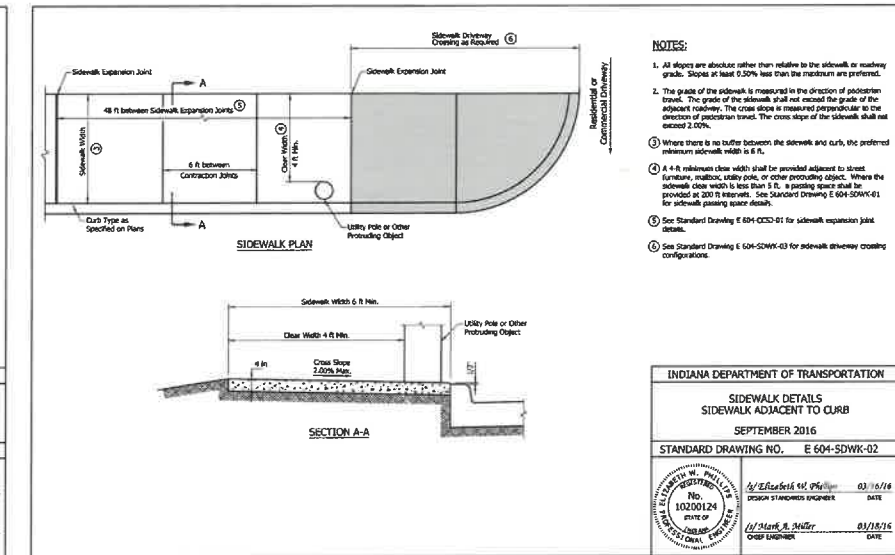
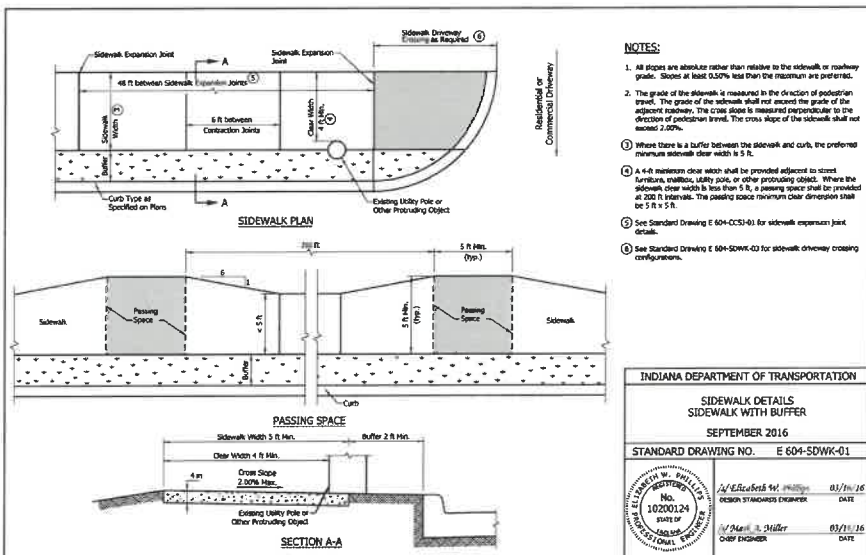
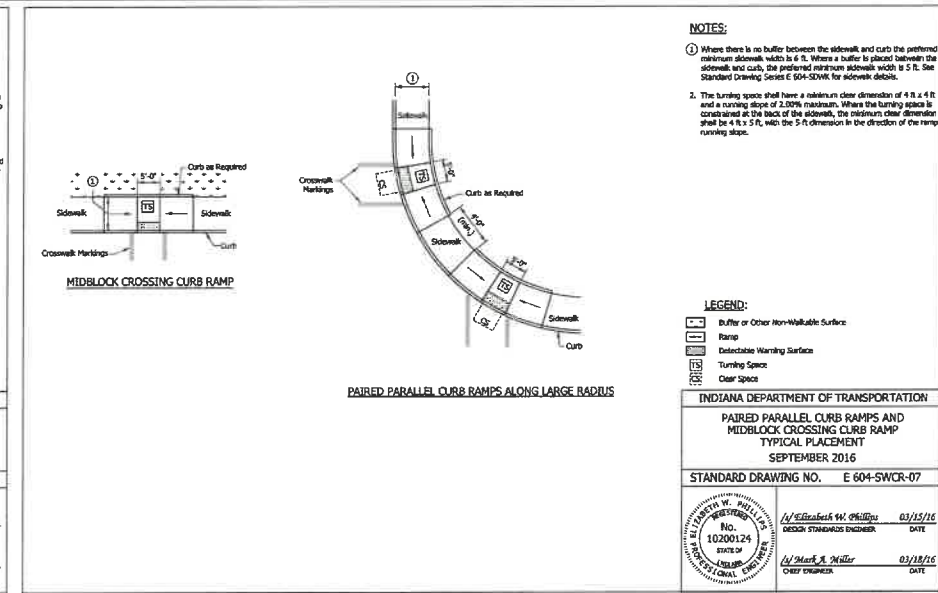
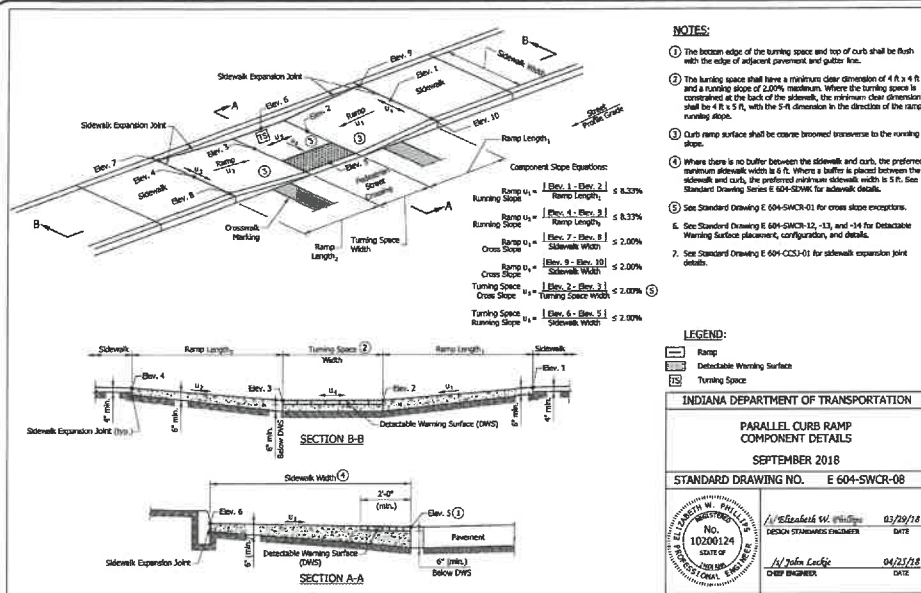
PLAN DATE: 4/29/2025

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO. 2411004

SHEET NAME: **INDOT CURB RAMP DETAILS**

SHEET NO. **C602**







[illegible]

GENERAL NOTES / LEGEND



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PROJECT:

**FIFTH THIRD  
BANK**

PROJECT LOCATION.

1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW  $\frac{1}{4}$ , S29, T16N, R7E

CLIENT

**PETERSON ARCHITECTURE**  
298 S. 10TH ST. STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE

PLAN DATE <b>4/29/2025</b>		
DESIGN AF	CHECK AF	DRAWN KC
PROJECT NO. <b>2411004</b>		
SHEET NAME <b>GREENFIELD GENERAL DETAILS</b>		
SHEET NO. <b>C802</b>		

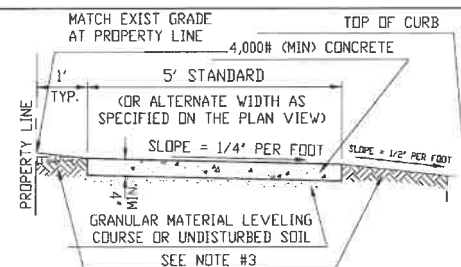
## CONSTRUCTION SPECIFICATIONS

1. Concrete Material shall meet the requirements of Section 702 of the Indiana Department of Transportation Standard Specifications.
2. INDOT Standard Specifications Section 501.10 Limitations of Mixing shall govern the placement of concrete in cold weather.
3. Install topsoil, grass seed and mulch in all lawn areas disturbed by construction.

1-1/2" deep tooled joint  
every five feet (max)

commercially manufactured  
joint filler material  
installed every 50 feet (max)

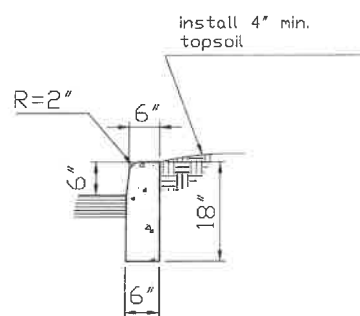
## JOINT DETAILS



SECTION THROUGH SIDEWALK

**CITY OF GREENFIELD**  
**STANDARD DETAIL**

STANDARD SIDEWALK DETAIL	
Dwn. By: D. Rodgers	Origin Date: 12/29/98
Des. No: R-111-01	Rev. Date: 12/10/07



SECTION THROUGH CURB

CITY OF GREENFIELD

### STANDARD DETAIL

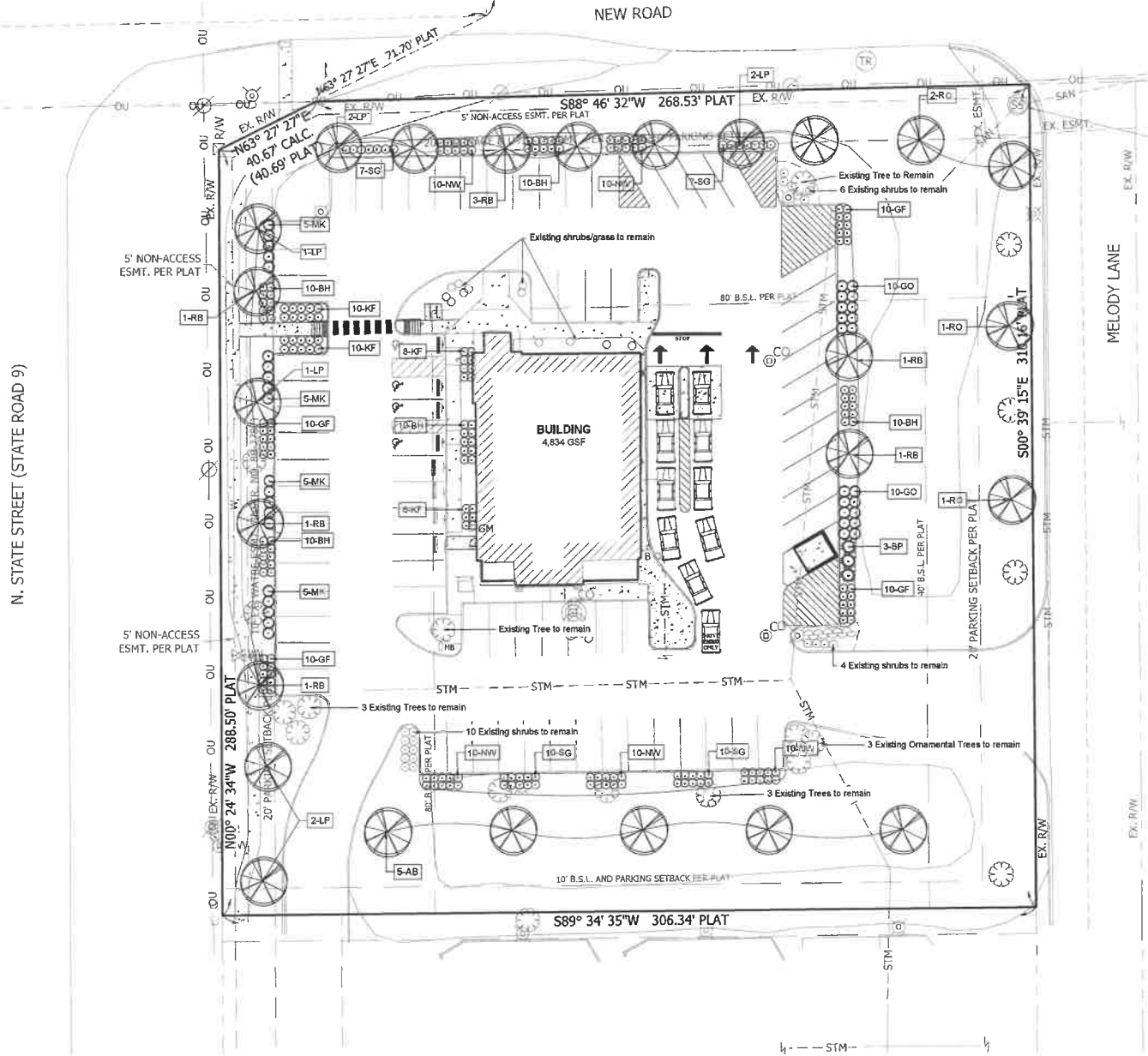
Dwn.By: D.Rodgers	Origin Date: 12/29/98
Des. No: R-112-01	Rev. Date: 12/10/07

## CONSTRUCTION SPECIFICATIONS

1. Concrete Material shall meet the requirements of Section 702 of the Indiana Department of Transportation Standard Specifications.
2. INDOT Standard Specifications Section 501.10 Limitations of Mixing shall govern the placement of concrete in cold weather.
3. Install topsoil, grass seed and mulch in all lawn areas disturbed by construction.
4. Sawcut existing pavement to a neat edge on any line where new construction meets existing pavement.
5. Provide tooled or sawn joints in concrete at 10 foot intervals.







SYMBOL LEGEND

PROPOSED CANOPY TREE



PROPOSED ORNAMENTAL TREE



PROPOSED EVERGREEN TREE



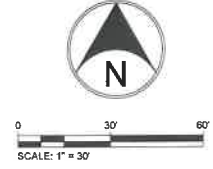
PROPOSED SHRUB/  
ORNAMENTAL GRASS



TURFGRASS REQUIRED



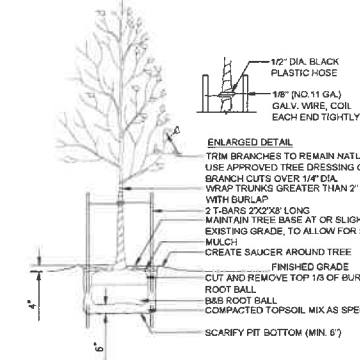
MULCH REQUIRED



GENERAL NOTES

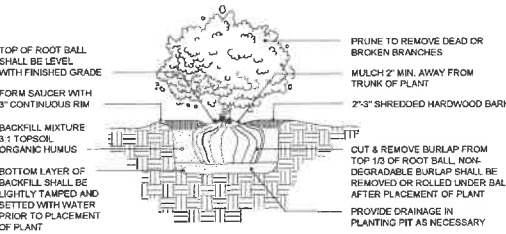
PLANT MATERIAL SHALL BE SELECTED AND INSTALLED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

- LANDSCAPE MATERIALS SELECTED SHALL BE APPROPRIATE TO LOCAL GROWING AND CLIMATE CONDITIONS AND FOLLOW THE GUIDELINES SET BY THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (CURRENT EDITION) AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE OF SPECIMEN QUALITY, SUPERIOR FORM, HEALTHY, VIGOROUS, WELL BRANCHED, DENSELY FOLIATED WHEN IN LEAF, FREE OF DISEASE AND INSECTS EGGS OR LARVAE AND SHALL HAVE WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL BE FREE FROM DAMAGE OR CONDITIONS THAT WOULD PREVENT NORMAL GROWTH.
- ALL PLANTING MATERIAL SHALL BE IN ACCORDANCE WITH THE MOST CURRENT PUBLICATION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
  - STREET TREES AND SHADE TREES: ALL STREET TREES AND SHADE TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF (2.5) INCHES WHEN MEASURED FROM SIX (6) INCHES ABOVE GROUND LEVEL.
  - ORNAMENTAL TREES: ALL ORNAMENTAL TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM CALIPER OF ONE AND ONE-HALF (1.5) INCHES WHEN MEASURED FROM SIX (6) INCHES ABOVE GROUND LEVEL.
  - EVERGREEN TREES: ALL EVERGREEN TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM HEIGHT OF SIX (6) FEET.
  - SHRUBBERY: ALL DECIDUOUS AND EVERGREEN SHRUBS AT THE TIME OF PLANTING SHALL HAVE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES.
  - GROUND COVER/ORNAMENTAL GRASS: ALL GROUND COVER/ORNAMENTAL GRASS AT THE TIME OF PLANTING SHALL HAVE A MINIMUM SIZE OF ONE (1) GALLON, UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
- IRRIGATION SYSTEMS SHALL NOT BE INSTALLED IN THE CITY OWNED RIGHT-OF-WAY WITHOUT APPROVAL BY THE BOARD OF PUBLIC WORKS. THE CITY DOES NOT ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED TO AN UNPERMITTED IRRIGATION SYSTEM THAT IS CAUSED BY WORK BEING PERFORMED IN THESE AREAS.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNERS AND THEIR AGENTS TO INSURE PROPER MAINTENANCE OF ALL TREES, SHRUBBERY AND OTHER LANDSCAPING APPROVED AS PART OF THE DEVELOPMENT PLAN/ADLS PLANS. THIS SHOULD CONSIST OF WATERING, FERTILIZING, PROPER MULCHING, CLEARING OF DEBRIS AND WEEDS, MONITORING FOR PESTS AND DISEASE, MOWING, PRUNING, THE REMOVAL AND TIMELY REPLACEMENT OF DEAD, HAZARDOUS OR DAMAGED PLANTS, TREATING FOR DISEASE OR INJURY, OR ANY OTHER SIMILAR ACT(S) WHICH PROMOTES GROWTH, HEALTH, BEAUTY AND THE LIFE OF TREES, SHRUBS, TURF AND OTHER PLANTS.



- SPECIFICATIONS
- TOPSOIL MIX TOP 6 INCHES OF SOIL TO BE A 50/50 MIX OF NATIVE SOIL AND GENERAL PLANTING MIX.
  - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
  - WATER THOROUGHLY AFTER INSTALLATION.
  - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
  - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
  - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

DECIDUOUS TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

QUANTITY	KEY	% GENUS PLANTED	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	COMMENTS
DECIDUOUS CANOPY TREES							
8	RD	25%	Betula nigra 'Heritage'	Heritage River Birch	B&B	2.5"	
5	AB	25%	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	B&B	2.5"	
4	RO	25%	Quercus rubra	Red Oak	B&B	2.5"	
6	LP	25%	Platanus acerifolia 'Exclamation'	'Exclamation' London Planetree	B&B	2.5"	
DECIDUOUS SHRUBS							
50	BH	25%	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	Container	24"	Space @ 36" o.c.
40	GF	25%	Spiraea x bumalda 'Gold Flame'	Gold Flame Spirea	Container	24"	Space @ 36" o.c.
20	MK	25%	Syringa pubescens	Miss Kim Lilac	Container	24"	Space @ 48" o.c.
EVERGREEN SHRUBS							
20	GO	25%	Juniperus virginiana 'Gray Owl'	Gray Owl Juniper	Container	24"	Space @ 48" o.c.
34	SG	25%	Juniperus chinensis 'Sea Green'	Sea Green Juniper	Container	24"	Space @ 36" o.c.
EVERGREEN TREES							
3	BP	25%	Juniperus chinensis 'Blue Point'	Blue Point Juniper	Container	6"	Space @ 5' o.c.
PERENNIAL GRASS							
34	KF	50%	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	Container	#2	Space @ 36" o.c.
50	NW	50%	Panicum virgatum 'Northwind'	'Northwind' Switch Grass	Container	#2	Space @ 36" o.c.

PLANTING SCHEDULE

PLANT MATERIAL CALCULATIONS TABLE

ZONING CLASSIFICATION, COMMERCIAL GATEWAY NORTH CITY OF GREENFIELD	PLANT MATERIAL REQUIREMENTS ARE SET FORTH BY THE CITY OF GREENFIELD UNIFIED DEVELOPMENT ORDINANCE	
	REQUIRED	PROVIDED
BUFFERYARDS	NORTH, SMALL -10' WIDE PLANTING STRIP, 2 SHADE TREES AND 10 SHRUBS PER 100 LF	NORTH - 268LF, 5 TREES AND 27 SHRUBS
	SOUTH, SMALL -10' WIDE PLANTING STRIP, 2 SHADE TREES AND 10 SHRUBS PER 100 LF	SOUTH - 308 LF, 6 TREES AND 31 SHRUBS
	EAST, SMALL -10' WIDE PLANTING STRIP, 2 SHADE TREES AND 10 SHRUBS PER 100 LF	EAST - 310 LF, 6 TREES AND 31 SHRUBS
	WEST, MEDIUM -20' WIDE PLANTING STRIP, 3 SHADE TREES AND 10 SHRUBS PER 100 LF	WEST - 288 LF, 5 TREES (2 EXISTING) AND 29 SHRUBS
BUILDING FOUNDATION	MULCHED BEDS ALONG THE FRONT FACADE OF THE BUILDING INCLUDING, SHRUBS, ORNAMENTAL GRASS, AND PERENNIALS	SHRUBS, ORNAMENTAL GRASS, AND PERENNIALS
PARKING LOT PERIMETER	5' WIDE PLANTING STRIP ALONG ALL SIDES OF THE PARKING LOT, 1 SHRUB PER 50 SFT OF GROUND COVER, 1 SHADE TREE PER 300 SFT OF GROUND COVER	WEST - 890 SFT, 18 SHRUBS AND 3 TREES SOUTH - 690 SFT, 14 SHRUBS AND 3 EXISTING TREES EAST - 795 SFT, 16 SHRUBS AND 3 TREES NORTH - 840 SFT, 17 SHRUBS AND 3 TREES
DUMPSTER / MECHANICAL SCREENING	6' HIGH OPAQUE SCREEN	VEGETATIVE AND ARCHITECTURAL SCREEN
MONUMENT SIGN	SHRUBS, ORNAMENTAL GRASS, AND/OR PERENNIALS	N/A

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CONSTRUCTION

1. REV PER TRO COMMENTS	6/9/2025	AF
REVISIONS AND ISSUES	DATE	BY

GENERAL NOTES / LEGEND

"IT'S THE  
LAW"  
**811**

Know what's below.  
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2 WORKING DAYS BEFORE YOU DIG.

PROJECT:

**FIFTH THIRD  
BANK**

PROJECT LOCATION  
1993 N. STATE ST.  
GREENFIELD, INDIANA 46140  
HANCOCK COUNTY  
SECTION, TOWNSHIP, RANGE  
SW 1/4, S29, T16N, R7E

CLIENT

**PETERSON ARCHITECTURE**

298 S. 10TH ST., STE. 500  
NOBLESVILLE, IN 46060

PLAN DATE:  
4/29/2025

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO.  
2411004

SHEET NAME  
LANDSCAPE PLAN

SHEET NO.  
**L101**