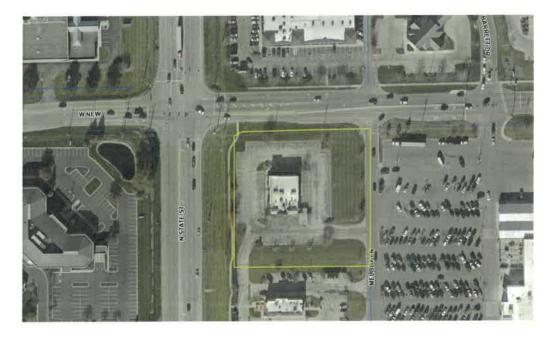
CITY OF GREENFIELD BOARD OF ZONING APPEALS - July 15, 2025

**VAR25-03** 

VAR25-03 1993 N. State St., Walmart Supercenter Lot 2, Thomas English Real Estate, Applicant, - requests a variance of development standards to allow a drive-thru and dumpster enclosure in a front yard, zoned CN Commercial North, 2.15 acres +/-

### **EXHIBITS:**

Civil plans file dated June 18, 2025



Aerial Map of Proposed Project Location

### Surrounding Uses

North: "CN" Commercial North, Retail
South: "CN" Commercial North, Restaurant
East: "CN" Commercial North, Retail
West: "CN" Commercial North, Banking

## Site History

The building on this site was built in approximately 2005 and has been a restaurant for the entirety of its use. The surrounding area has been further developed in the interim years with retail and restaurants, eventually being designated as "CN" or Commercial North Gateway zoning during the adoption of the UDO and rezoning of the city. Since the restaurant closed towards the end of 2023, it has sat unoccupied.

## **Current Proposal**

The current Development Plan Proposal is to remodel the location into 2 tenant spaces. The first and primary space will be occupied by a banking establishment. The second tenant space is proposed to be retail. The proposal also includes a landscape plan.

They have proposed a two-lane drive-thru on the east side of the building which fronts Melody Ln. One of the lanes will have a pneumatic tube system for teller interaction. The other lane will have only an ATM. The drive-thru will have a total of 8 stacking spaces between the two lanes. They have also proposed placing their dumpster enclosure on the east side of the property. The layout of these amenities places them both with a front yard.

Z:\BOARD OF ZONING APPEALS\BZA STAFF REPORTS\2025 BZA\VAR25-03 Fifth Third Bank 1993 N State St

## CITY OF GREENFIELD BOARD OF ZONING APPEALS - July 15, 2025

**VAR25-03** 

Section 155.054 Drive-Thru facilities and vehicle Dependent Uses, states that all drive-thru components shall be in a side or rear yard only. Section 155.064 Fences, Appurtenant Structures and Screening requires dumpsters to be in a side or rear yard only.

### **VARIANCE FINDINGS**

Section 155.093 (B) of the Zoning Ordinance of Greenfield addresses variances from development standards. "The Board of Zoning Appeals shall approve or deny variances from the development standards (such as height, bulk, or area) of the Zoning Code, unless already heard by the Plan Commission during the platting process. In approving variances, the Board of Zoning Appeals may attach such conditions to the variances as it deems necessary to assure compliance with the purpose of the Zoning Ordinance. If the conditions of the variance are not completely and continuously adhered to after the granting of the variance, the property and/or owner may be subject to enforcement actions and revocation of the terms of approval. A variance may be approved under this section only upon a determination in writing that:"

- (1) The approval will not be injurious to the public health, safety, morals, and general welfare of the community.
- Findings: The proposal would not be injurious to the public health, safety, morals and general welfare of the community. This site is unusual as it does not have a rear yard but instead has three front yards. Considering the unique circumstance of the site, staff finds that the proposed locations for the dumpster enclosure and drive-thru are appropriate. The landscape plan indicates a robust screen on east side of the parking to buffer these amenities from the right-of-way.
- (2) The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.
- Findings: The proposal would not affect the adjacent area in a substantially adverse manner. The dumpster enclosures and drive-thrus at the restaurant uses to the south of the proposed site are on the east side of their properties. The placement of the dumpster enclosure and drive-thru on the east side of this property will be in line with the other uses within the subdivision.
- (3) The strict application of the terms of the Zoning Ordinance will result in practical difficulties in the use of the property.
- Findings: A strict application of the Ordinance would result in practical difficulty. This site is unusual as it does not have a rear yard but instead has three front yards. While the dumpster enclosure and drive-thru could be placed in the side yard, it would then be more visible from the main thoroughfare North State St. which is a part of the entrance to the community.
- (4) There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply generally to the other property or class of use in the same vicinity and district.
- **Findings:** Extraordinary conditions **do** exist for this property. This site is unusual as it does not have a rear yard but instead has three front yards. While the dumpster enclosure and drive-thru could be placed in the side yard, it would then be more visible from the main thoroughfare North State St. Staff finds that placement on the east side of the property allows for a more attractive gateway into the community.

All variance approvals shall be considered to be conditional approvals. The Board shall have the authority to impose specific conditions as part of its approval in order to protect the public health, and for

Z:\BOARD OF ZONING APPEALS\BZA STAFF REPORTS\2025 BZA\VAR25-03 Fifth Third Bank 1993 N State St

CITY OF GREENFIELD BOARD OF ZONING APPEALS - July 15, 2025

**VAR25-03** 

reasons of safety, comfort, and convenience (e.g., to ensure compatibility with surroundings.) Variance approval applies to the subject property and may be transferred with ownership of the subject property dependent upon the provisions and conditions prescribed by or made pursuant to the Zoning Ordinance.

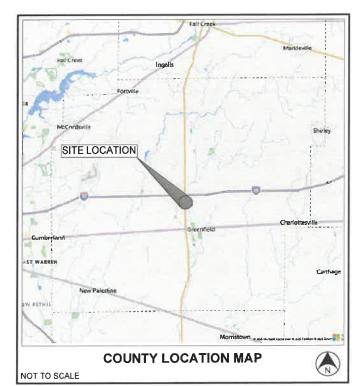
Section 155.093, 2, A of the Zoning Ordinance of Greenfield states that "A variance may be approved under this section only upon a determination in writing that [the above four criteria]" are met in the petitioner's favor. If the Board does not ascertain findings in the Petitioner's favor in all criteria, then it may not legally approve the variance.

**Staff Recommendation:** Approve the variances to allow the dumpster enclosure and drive-thru in a front yard with the following condition:

1. All necessary permits shall be obtained prior to construction.

# **CONSTRUCTION PLANS FOR:** FIFTH THIRD BANK

# 1993 N. STATE ST. CITY OF GREENFIELD, HANCOCK COUNTY, INDIANA SW 1/4, SECTION 29, TOWNSHIP 16N, RANGE 7E





## **PLANS PREPARED FOR:**

PETERSON ARCHITECTURE 298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

Contact Person: DARREN PETERSON

317-770-9714

DPETERSON@PETERSONARCHITECTURE.COM

### **OPERATING AUTHORITIES:**

Greenfield, IN 46140 317-477-4320

Water, Sewer, Gas - City of Greenfield Utilities

10 S State St, Greenfield

(317) 477-4330

City of Greenfield Engineering City of Greenfield Streets 10 S. State St. Greenfield IN 46140 317-477-4320

Hancock County Soil and

IN 46140

Greenfield, IN 46140 317-477-4380

(317) 477-4370 AT&T - Fiber Optic

City of Greenfield Power and

Light 333 S Franklin St, Greenfield, IN

City of Greenfield MS4 10 S State St, Greenfield Water Conservation District (317) 477-4330 1101 W Main St N. Greenfield,

4625 West 86th St. Suite 500 Indianapolis, IN 46268

### **GENERAL NOTES:**

- THE CONSTRUCTION PLANS SHALL GOVERN OVER ANY OTHER FORM OF MEDIA, WHICH INCLUDES DIGITAL FILES OF THIS PROJECT
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE & FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
- 3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINATE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. ONCE ALL UTILITIES HAVE BEEN LOCATED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DRAWINGS.
- BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- 5. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS FOR THE GOVERNING MUNICIPALITY REQUIREMENTS.
  6. MAINTENANCE OF TRAFFIC NEEDED FOR THIS PROJECT SHALL BE INSTALLED AND MAINTAINED PER INDOT SPECIFICATIONS / STANDARD DRAWINGS, INDOT DESIGN MANUAL, AND THE INDIANA MUTCO MANUAL, ALONG WITH GOVERNING MUNICIPALITY REQUIREMENTS, COORDINATE WITH THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO START OF CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- ALL GRADES AT THE BOUNDARY SHALL MEET EXISTING GRADES.
- 10. NO WORK SHALL BE CONSTRUCTED OFFSITE UNLESS SHOWN OR DENOTED OTHERWISE WITHIN THESE PLANS.

  11. NO CONSTRUCTION WORK SHALL BE PERFORMED WITHIN THE ADJACENT OR ONSITE WATER TRIBUTARIES / WATERCOURSES UNLESS SHOWN AND DENOTED AS SUCH OTHERWISE WITHIN THESE PLANS.
- 12. CONTRACTOR SHALL MINIMIZE DAMAGE TO ANY EXISTING TREES UNLESS NOTED OTHERWISE. 13. ALL CONSTRUCTION ACTIVITY ON THIS SITE IS TO PERFORMED IN COMPLIANCE WITH ALL APPLICABLE O.S.H.A. STANDARDS FOR WORKERS SAFETY.
- 14. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.

TOTAL SITE ACREAGE - 2.15 AC.
TOTAL ACREAGE OF DISTURBANCE - 0.15 AC.
GROSS SQUARE FOOTAGE OF BUILDING - 5,420 S.F. (EXISTING)

PROPOSED CONSTRUCTION START - AUGUST 1, 2025 PROPOSED CONSTRUCTION END - DECEMBER 30, 2025 WORK IS SCHEDULED TO BE COMPLETED IN ONE CONTINUOUS CONSTRUCTION PHASE

### SURVEY CONTROL AND VERTICAL DATUM (BENCHMARK) INFORMATION:

- SURVEY CONTROL BY OTHERS: FRITZ ENGINEERING SERVICES (SEE ATTACHED SURVEYS FOR ADDITIONAL INFORMATION)
- HORIZONTAL DATUM: NAD83 COORDINATE SYSTEM / BASIS OF BEARING: INDIANA STATE PLANE EAST
- VERTICAL DATUM: NAVD88
- PUBLISHED / CHECK-IN BENCHMARK: SEE SURVEY
- ORTHOMETRIC HEIGHT (ELEVATION) = SEE SURVEY

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE GREENFIELD STANDARDS, DETAILS, AND SPECIFICATIONS (STANDARDS), LATEST EDITIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.

  2. INDIANA STATE DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD DRAWINGS AND SPECIFICATIONS, LATEST
- EDITIONS, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS (SUPPLEMENTAL SPECIFICATIONS 3. WATER WATER STANDARDS, DETAILS, AND SPECIFICATIONS, LATEST EDITIONS, SHALL BE INCORPORATED INTO
- AND UTILIZED WITH THESE PLANS AS IT PERTAINS TO WATER LINE CONSTRUCTION.

  4. WATER AND GREENFIELD FIRE DEPARTMENT STANDARDS, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED FOR
- ALL ALL FIRE PROTECTION WATER LINES AND APPURTENANCE CONSTRUCTION AS IT RELATES TO THIS PROJECT. 3. SANITARY SANITARY SEWER STANDARDS, DETAILS, AND SPECIFICATIONS, LATEST EDITIONS, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS AS IT PERTAINS TO SANITARY MAINS AND LATERAL
- 4. THE INDIANA MUTCO MANUAL, LATEST EDITION, SHALL BE INCORPORATED INTO AND UTILIZED WITH THESE PLANS.

### MAINTENANCE OF TRAFFIC (MOT) NOTES:

ALL MAINTENANCE OF TRAFFIC SHALL BE DESIGNED TO, FOLLOW, AND BE INSTALLED PER THE INDIANA MUTCD MANUAL, INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) SPECIFICATIONS AND STANDARD DRAWINGS, AND INDOT DESIGN MANUAL.

### SIGNS & PAVEMENT MARKING NOTES:

ALL SIGNS AND PAVEMENT MARKINGS AND STRIPING SHALL MEET THE CURRENT EDITION OF THE INDIANA MUTCO MANUAL TRAFFIC CONTROL FOR RICYCLE FACILITIES, AND INDOT STANDARD DRAWINGS AND SPECIFICATIONS AND SHALL BE INSTALLED PER THE INDIANA MUTCO MANUAL, INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) SPECIFICATIONS AND STANDARD DRAWINGS, AND INDOT DESIGN MANUAL

SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C100	GENERAL INFORMATION PLAN
V1	SURVEY (BY OTHERS) SHEET 1
V2	SURVEY (BY OTHERS) SHEET 2
V3	SURVEY (BY OTHERS) SHEET 3
C102	EXISTING CONDITIONS & DEMOLITION PLAN
C103	EXISTING CONDITIONS & SURVEY INFO
C201	SITE PLAN
C301	GRADING PLAN
C501	INITIAL EROSION CONTROL SWPPP
C502	MASS GRADING & CONSTRUCTION SWPPP
C503	POST CONSTRUCTION SWPPP
C504	SWPPP SEQUENCING & SOILS INFORMATION
C505	EROSION CONTROL DETAILS
C601	CURB RAMP & ADA BLOW-UP DIAGRAMS
C602	INDOT CURB RAMP DETAILS
C801	GENERAL DETAILS
C802	GREENFIELD GENERAL DETAILS
C901	GENERAL SPECIFICATIONS
L101	LANDSCAPE PLAN

SHEET LIST TABLE

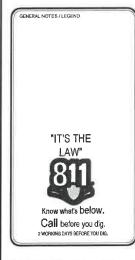
## QUANTITIES NOTE:

ANY AND ALL QUANTITY TABLES, NOTES OR VALUES AS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY, THE PLANS DETAILS, AND SPECIFICATIONS GOVERN, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ENTIRE CONSTRUCTION SET AND DETERMINE ALL THE FINAL QUANTITIES FOR ALL NECESSARY ITEMS REQUIRED TO COMPLETE THIS PROJECT. THE OWNER OR THE ENGINEER WILL NOT BE HELD LIABLE OR RESPONSIBLE FOR ESTIMATES NOT CONFIRMED BY THE CONTRACTORS, THE CONTRACTOR SHALL VERIEY ALL QUANTITIES PRIOR TO RIDDING AND CONSTRUCTION. IF DISCREPANCIES ARE FOUND, CONTACT THE ENGINEER IMMEDIATELY.





1. REV PER TRC COMMENTS	6/9/2025	AF
REVISIONS AND ISSUES	DATE	BY





1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1, S29, T16N, R7E

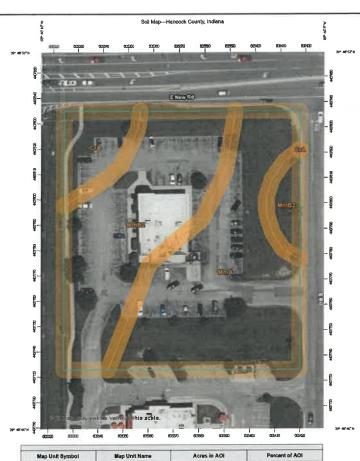
PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500

PLAN DATE:	4/29/202	25
DESIGN: AF	CHECK.	DRAWN KG
PROJECT NO.	241100	14
SHEET NAME		
C	OVER SI	HEET

C100

NOT TO SCALE

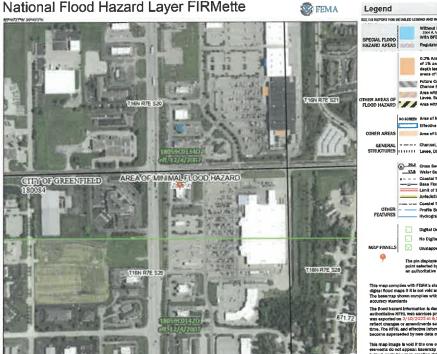


## SOILS MAP AND INFORMATION

rosby silt loam, New Cast Till Plein, 0 to 2 percent Miami silt loam, 0 to 2 perce. slopes

Miami silt loam, 2 to 6 percent slopes, eroded

Totals for Area of Interes



THE PROJECT SITE IS LOCATED WITHIN THE FEMA COMMUNITY PANEL MAP NO. 18059C0134D WITH AN EFFECTIVE DATE OF 12/4/2007 REVIEW OF THE MAP INDICATES THE SITE IS LOCATED WITHIN THE FLOOD DESIGNATION ZONE X' (UNSHADED), "AREAS DETERMINED

## FLOOD MAP & FLOOD ZONE INFORMATION

### **DEMOLITION NOTES:**

- It shall be the responsibility of the contractor to remove any materials and/or structures not located on this survey.
  It shall be the responsibility of the contractor to verify all existing utilities and their locations pertaining to their phase of work, and to verify which
  utilities will be removed by the utility company. Any and all utilities not removed by the utility company shall be removed by the contractor.
  Utility locations shown are approximate and shall be relocated and/or capped at the Right-Of-Way line and abandoned before construction at no
  additional cost to the owner.

- The owner gets the first right of salvage.
   All demolition material not being salvage shall be properly disposed of offsite by the contractor.
   The contractor shall obtain all demolition permits required by the local and salte agencies.
   The contractor shall maintain interest and shared drives free and clear of sediment and otheris.
   The contractor shall maintain interest and shared drives free and clear of sediment and otheris.
   The contractor is responsible for the protection of all existing utility lines unless otherwise stated.
   Contractor shall coordinate all temporary shat down of existing utility services with the approprisate utility department, owner, authority, etc.
   Contractor shall coordinate any necessary street or drive closures required.

## SITE/LAYOUT NOTES:

- See architectural plans for all building dimensions. Any dimensions shown herein shall be considered conceptual.

  All dimensions are to edge of pavement or face of curb, unless noted otherwise,

  All dimensions are to face of birds or facing material, unless noted otherwise,

  All parking area stripse are to be 4 inch white paint. Handicapped parking areas and access aisles shall be 4 inch blue paint.

  Provide smooth thrastions from new areas to existing features as a parpropriate.

  The edge of existing asphalt pavement shall be properly sealed with a tack cost material in all areas where new asphalt pavement is indicated to join existing asphalt pavement shall be properly sealed with a tack cost material in all areas where new asphalt pavement is indicated to join existing asphalt pavement.
- existing pavement.
  Provide chamier ands at curbs.
  Verify sign feations & sign requirements with local governing municipality. Signs shall meet Indiana MUTCD Manual and specifications

### **GRADING NOTES:**

- Earthwork & grading shall not start until erosion control measures have been properly installed.

  Occupational safety and health administration (OSHA) standards for excavations; Final Rule 29 CFR Part 1926, subpart "P" applies to all excavations exceeding the (5) feet in depth.

  Provide positive drainage that assures no ponding in all areas. After installation, contractor to test for, and correct, if any, standing water conditions

- Provide positive drainage that assures no ponding in all areas. After installation, contractor to test for, end correct, it airly, waiting years to indicate a present.

  All proposed spot elevations are the final pavement and grade elevations. See appropriate details and specifications to determine the subgrade elevations below finish grade elevations for constitution.

  All sentiary manifoles in non-paved areas shall be 2 and grade.

  The maximum along to be used in non-paved areas shall be 3:1 unless specifically noted otherwise.

  Mainrum avaite dopes are 1.0% useful or the property of the property o
- requirements.

  ADA addewalk ramps shall meet ADA requirements and INDOT standard drawings and specifications.

  10. All sidewalks cross slopes shall not exceed 2% (1:50) unless noted otherwise.

  11. Provide smooth transitions from new areas to existing features as appropriate.

  12. All grades shall match existing grades at the project properly lines / limits.

### **UTILITY NOTES:**

- The utilities indicated on these construction plans and on the survey may not be a compete inventory of all existing utilities currently on or near the
  site. The size and location of these utilities may be approximate. The engineer shall not be held liable for any inaccurate utility information indicated,
  or not indicated on hits survey.
   For viewing clarity of these construction plans, the pipes, structures, and appurtenances may not be drawn to scale.
   Coordinate with Archited / IME.P. and corresponding utility companies for reseat size, pipe, and location for the electric, telephone, gas, fiber optic,
  and water line services. Utility service providers may require installation of onsile conduits. Contractor shall coordinate requirements for conduits
  including number, location, put iditing, at x. with respective utility providers prior to bidding.
   Location of the utility service connections into the buildings are approximate. See Architectural VM.E.P. plans for exact locations.
   The contractor is responsible with coordinating with the utility companies for connection of the proposed utility lines for this project site.
   Contractor shall coordinate final location of transformers and primary service to transformers with utility at time of service request. Contractor shall
  consider smelling the visities companies for connections.

- Contractor shall coordinate final location of transformers and primary service to transformers with rutiny at time or service request. Contractor shall coordinate from the provide transformer peaks as required by stilling company;
  The underdrams depicted on these plans for the storm structures located within the patvement are 10 liner feet minimum, within the patvement are 10 liner feet minimum, and the provides of the storm structures located within the patvement are of surface and the provides of the provides

(STATE

All proposed water lines and sanitary lines / laterals shall have a minimum of 15 inches of vertical separation be maintained when crossing under or over each other, any other utilities, and storm sever pipes and appurtenances.

All proposed water lines and sanitary lines / laterals shall have a minimum horizontal separation from pipe exterior to pipe exterior of 10 linear feet from each other and from storm severs and appurtenances.

If still depth granular backfill required for all water lines, sanitary sewers, and storm sewers under and within 5 feet of pavement. / hardscapes.

2. All private laydrants shall have an isolation valve installed at the point of branching.

3. When connections are to be made to existing piping and structures, or where construction is in the vicinity of existing piping, structures, or appurtenances, the exact locations and elevations of the existing piping, structures and / or appurtenances shall be field verified onsite by the contractor prior to construction. If any discrepancies are found, then the engineer shall be notified immediately. Fritz Engineering Services, LLC shall not be responsible for any discrepancies that may arise between the plan information and actual field verified information as determined from any final onsite investigation from the contractor.

## **ABBREVIATIONS** AND TERMS

= INVERT ELEVATION

BOTTOM OF CURE

= RIM / TOP OF CASTING

= TOP OF CURB

= GUTTER

= ELEVATION

= PROPOSED

= EXISTING

= BACK TO BACK

= LINEAR FEET

= RADIUS

ROW or R/W

GREENFIELD FIRE DEPARTMENT

TRUCK / VEHICLE AUTOTURN DIAGRAM

**NEW ROAD** 

0

SCALE: 1" = 50"

= TYPICAL

IF / INV

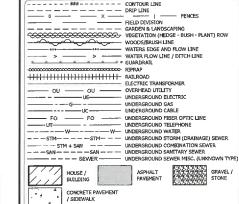
GUT

= REINFORCED CONCRETE PIPE HDPE = HIGH DENSITY POLYETHYLENE PIPE = SUB-SURFACE DRAIN = UNDERDRAIN = MANHOLE = STRUCTURE = DRAINAGE EASEMENT RD&UE = REGULATED DRAIN AND UTILITY EASEMENT DRAINAGE AND UTILITY EASEMENT SD&UE = SANITARY, DRAINAGE, AND UTILITY EASEMEN = WATER AND LITH ITY EASEMENT = SANITARY EASEMENT = SANITARY SEWER = MATCH EXISTING = STORM SEWER MPE = MINIMUM PAD ELEVATION

#### **PROPOSED LEGEND** FLOW LINE, PAVEMENT HO HYDRAN VALVE TEE ----- FD ------ FOUNDATION DRAIN \_\_\_\_\_ TV \_\_\_\_ CABLE TV LINE" ADAPTER ELECTRIC LINE TEMP, FLUSH HYDRANT —— го —— FIBER OPTIC LINE - SUB-SURFACE DRAIN BLOW-OFF THRUST BLOCK — UD-----STORM UNDERDRAIN STORM SEWER REDUCER SANITARY SEWER FORCE MAIN M,J, SLEEVE — FM — GAS LINE WATER METER TELEPHONE LINE\* POST INDICATOR VALVE WATER LINE ----- 8°W -----FIRE CONNECTION TRANSFORMER PAD \*\*PREFIX FOR UTILITY LINES: UG - UNDERGROUND RELOCATED ELECTRIC/TELEPHONE POLE UG - UNDERGROU OH - OVERHEAD HANDICAP PA HANDICAP PARKING FLOW ARROW EXISTING CONTOURS STORMTECH STORM CHAMBER 785 PROPOSED CONTOURS SEWER MANHOLE (E:XXX.XX FLOW LINE ELEVATION (XXX.XX) STORM COMBINATION INLET SPOT ELEVATION (XXX.XX H.P.) HIGH POINT ELEVATION STORM GRATE INLET (XXX.XX L.P.) LOW POINT ELEVATION (3) STORM BEEHIVE/YARD DRAIN TOP/BOTTOM CURB ELEVATION STORM END SECTION (TC:XXX.XX) BC:XXX.XX TW:XXX.XX BW:XXX.XX

## F.E.S.TOPOGRAPHIC LEGEND

TOP/BOTTOM WALL ELEVATION



GENERAL

FINISHED FLOOR ELEVATION
BORING LOCATION

TEXT TEXT / TOPO INFORMATION

SIGNS / STRIPING / TRAFFIC

OP DELINEATOR POST
PARKING BUMPER
DEPENDENT SIGNAL POLE
HANDICAP SYMBOL
RAILROAD SIGNAL

-- ROADWAY SIGN (DOUBLE POST)

MISCELLANEOUS STORM STRUCTURE

DRAINAGE MANHOLE WITH CURB INLE GRATE INLET (CIRCLE SHAPE) GRATE INLET (SQUARE / RECT. SHAPE)

REG. (LEGAL) DRAIN TILE RISER

TUD SIGNAL LOOP DETECTOR BOX TRAFFIC SIGNAL STRAIN POLE

IN ROOF DRAIN DOWNSPOUT D) STORM SEWER MANHOLE

WATER QUALITY UNIT

DITCH GRATE INLET

SOLID LID STORM CASTING

RAILROAD SIGN - ROADWAY SIGN (SINGLE POST)

DRAINAGE / STORM

END SECTION

BEE-HIVE INLET COMBINATION "CURB" INLET

ROLL CURB INLET

GROUND LIGHT

MONITORING WELL

TREES / VEGETATION

O BUSH A STUMP CONIFEROUS TREE E3 DECIDUOUS TREE

1 SURVEY CONTROL -O- SURVEY CONTROL

TRM TEMP, BENCHMARK # SURVEY POINT I.D.

6

8MP/AQUA-SWIRL

STORM STRUCTURE NUMBER

PROPERTY
O GP GATE POST
PPST FENCE POST
L T# "T" POST IXIR/W RIGHT-OF-WAY MONUMENT

AIR CONDITIONING UNIT

BO BOLLARD - CONCRETE

BO BOLLARD - WOOD OFP FLAG POLE () MB SINGLE MAILBOX

☐MB-D DOUBLE MAILBOX
☐MB-M MULTIPLE MAILBOX

SATELLITE DISH

GAS STATION MANHOLE
☐GAW GAS STATION MONITORI SANITARY G CISTERN

G GREASE II

GREASE INTERCEPTOR GRINDER PLIMP SANITARY CLEANOUT SANITARY LATERAL STUB MARKER SANITARY MANHOLE MISC. OR COMBINE SEWER STR. WATER SEPTIC TANK FIRE DEPARTMENT CONNECTION

FIRE HYDRANT POST INDICATOR VALVE SPRINKLER HEAD WELL w UTILITY APPURTENANCES
(# - INDICATES UTILITY TYPE)

(# - INDICATES UTILITY TYP

□C+ CABINET

② MANHOLE

○ #M METER

③ PEDESTAL

□#R RISER

③ IF UTILITY TUB

▷4#V VALVE

② #VY VENT PIPE

③ HIM WARNING MARKER

| TRANSPER | TRANSPER

GROUND LIGHT
LAMP POST (PRIVATE)
LIGHT POLE
ANCHOR FOR GUY ROPE
POLE - GUY OR STUB
POWER POLE / UTILITY PO
LIGHT ON POWER / UTILIT
METAL TOWER LEG
TRANSFORMER

SOLID LID STOKM L

YARD DRAIN INLET ELECTRIC / LIGHTS ELECTRICAL BOX







GENERAL NOTES / LEGENE

"IT'S THE LAW" Know what's below. Call before you dig. 2 WORKING DAYS BEFORE YOU DIS

FIFTH THIRD

PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1/4, S29, T16N, R7E

**BANK** 

PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE: IN 46060

4/29/2025 2411004 SHEET NAME **GENERAL** 

INFORMATION PLAN

C101

Puture Conditions 1% Annual Chance Flood Hazard Zore X so congre Area of Minimal Flood Hazard 2002 Cross Sections with 1% Annual Chance

125 Water Surface Elevation

5 - - Coastal Transact

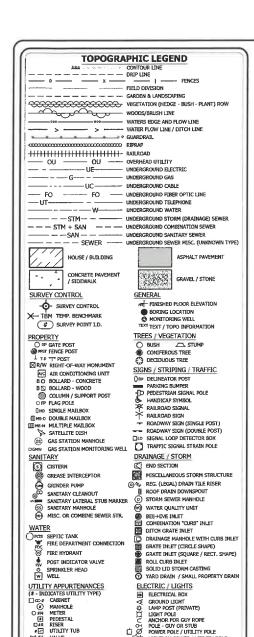
25 - Base Flood Elevation Line (BFE) No Digital Data Available

43.8%

100.0%

TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

1:6.000



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C / TV - CABLE E - ELECTRIC (ELEC.) FM - FORCE MAIN F / FO - FIBER OPTICS
G - GAS I - IRRIGATION S - SPRINKLERS R / RR - RALROAD
SS - SANITARY T - TELEPHONE (TELE.) TR - TRAFFIC U - UTILITY W - WATES

Per the Indiana 811 ticket, the follow utilities may be located near or onsite:

See the "Utility Notes and Disclaimers" in regards to the location of utilities

**UTILITY REQUEST (INDIANA 811) NOTES:** 

The Indiana 811 ticket numbers are as follows: 2411190456

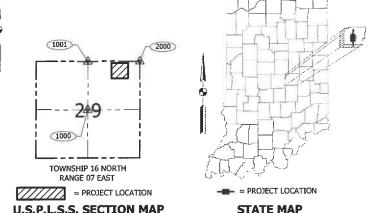
LIGHT ON POWER / UTILITY POLE

METAL TOWER LEG

### **GENERAL NOTES, UTILITY NOTES AND DISCLAIMERS:**

- 1. Bearing and distance relationships to found monuments on the adjoining properties are shown on the survey map or plat for the purpose of establishing a history of monumentation and to assist in establishing the boundary lines of the subject tracts only. This map or plat does not represent a survey of said adjoining properties.
- Field measurements for this survey were made in accordance with specifications outlined in 865 I.A.C. 1-12. The decimal places shown hereon for measurements and coordinates do not necessarily indicate the precision of the work, but to allow for closure and adjustment by others if desired.
- This survey plat or map was prepared without benefit of current evidence of source of title (Title Work or Encumbrance Report not performed) for the subject tracts and therefore subject to any statement of facts revealed by examination of such documents. Easements, legal drains, covenants, right-of-way, etc. shown heron does not constitute all encumbrances upon these surveyed tracts.
- 4. For viewing darity of this map or plat, pipes, structures, and appurtenances may not be drawn to scale. When the field work was performed, access to the house/building was not available. Finish floor elevations (FFE) were field measured at the lip of the doors, and not inside the structure itself. This could result in a slight discrepancy from the true FFE of the structure, and therefore the FFE's are approximate.
- The utilities indicated on this survey plat <u>may or may not</u> be a compete inventory of all existing utilities currently on or near the site. The size and location of these utilities may be approximate. Indiana 811 was contacted for this survey. Private utility locates were NOT contacted for this survey per the survey scope. No attempt was made as part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility, public service facility, or utility service lines to the property. No excavations were made during the course of this survey to locate underground utilities and/or structures. Only what was marked by the utility companies via Indiana 8.11 were field located and shown on the survey. No assumptions were made connecting utilities observed and located to other appurtenances or how they enter or connect into adjoining houses or buildings unless observed or dentified by Indiana B1.1. Before design or construction is to begin, locations should be confirmed with the appropriate agencies. Underground utilities depicted on the attached plat of survey have been measured and located per above grade field observations, utility markings, and/or scaled off utility plans only. No warranty, either expressed or implied, is made to the accuracy and/or completeness of information presented on underground utilities, or as to its fitness for any particular purpose or use. In no event will Fritz Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information. The path of the utility lines on saic plat of survey should be considered approximate until they are either relocated, by calling Indiana 811 and other utility locate companies, or until they are excavated to verify the location and path of the utility
- 7 Unless otherwise stated, sewer measurements were performed with limited access. Field measurements were determined as physically observed (sometimes with limited visibility) and without confined space entry. Pipe sizes and measurements under certain conditions may be provided from other sources (as stated) in electronic format via GIS data or from record drawings provided by other agencies.
- Storm, sanitary, or combined sewers were located per visible, observed evidence only. Excavations of sewers, or corresponding structures, were not conducted by Fritz Engineering Services, LLC.
- Sewer pipe lengths as shown per this survey are from each field located shot of the structures and are not shortened or lengthened to adjust for the size, orientation, or shape of structures, and therefore the pipe lengths as depicted on this survey are approximate.
- Measure down data (Structure Details) for sewer structures is considered approximate, and while
  extensive effort was made to get all pertinent information and measurements for each sewer structure, physical and safety issues do cause limitations in the ability to always collect and measure accurately the field data associated with each structure. Depth, orientation, and condition of the structures and incoming field data associated with each structure. Depth, orientation, and condition of the structures and incoming pipes can make determining sizes, material types, and inverts difficult to determine or evaluate. Fritz Engineering Services, LLC employees do not enter sewer structures to collect and measure data due to safety, health, and liability issues. Fritz Engineering Services, LLC, its employees, agents, and/or assigns shall not be held liable or their work be considered incompletes if discrepancies are found between the measure down data collected for this project and onsite field checks and/or observations performed by other parties. For some sewer structures, the accuracies for inverts may have an uncertainty up to 0.5 feet and nine sizes may vary up or down one pine size.
- 11. Monuments were set this survey at all comers where no existing monumentation was found except as noted. Monuments that were set as an offset were set as such due to existing conditions (trees, utilities, buildings, watercourses) making it unrealistic or impossible to set the monuments
- 12. When fences or other lines of occupation are shown on the plat, they have been located only at the ends or specific locations noted: therefore, for the purpose of this survey, such lines are assumed to run aight between said locations, but in actuality may vary slightly from such straight line.
- 13. Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of overhead or underground containers or facilities that may affect the use or development of this tract.
- 14. No warranty, either expressed or implied, is made as to the accuracy and/or completeness of information provided by governmental authorities and/or third parties, or as to its fitness for any particular purpose or use, including but not limited to information presented on zoning, setback requirements, flood hazard zones, and wetlands areas. In no event will Fritz Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information
- 15. This survey plat has been prepared for use on this particular project and for the exclusive use of the person(s) or entity herein named and is not certified for use by any other party. The evidence, possession, ownership, conditions etc. could change constantly and the use of this survey is limited only to the date indicated herein.

#### PROJECT LOCATION Wilkinson 🛰 Willow Branch Map andon HANCOCK Valle 📣 Mount Maxwell Mohawk of comfort 116 4 66 Charlottesvill Philadelphia Clevela Greenfield berland Ca Spring Lake Julietta New Palestine Westland its CSX Blue naker VICINITY MAP



National Flood Hazard Layer FIRMette

(NOT TO SCALE)





(MAP NOT TO SCALE)

FEMA

## FLOOD (FEMA) NOTES:

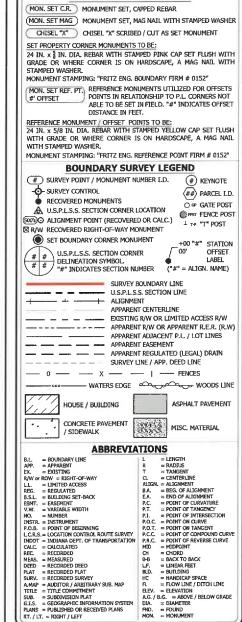
(NOT TO SCALE)

THE SURVEY TRACT LIES WITHIN FLOOD HAZARD ZONE 'X' 'UN-SHADED', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SCALED OFF THE FEMA FIRM MAP NUMBER 18059C0134D, WITH AN EFFECTIVE DATE OF



MONUMENTATION LEGEND

14020 MISSISSINEWA DRIVE



## RETRACEMENT BOUNDARY SURVEY CLIENT:

PETERSON ARCHITECTURE 298 S. 10TH ST., #500 NOBLESVILLE, IN 46060

PROJECT ADDRESS: 1993 NORTH STATE STREET GREENFIELD, IN 46140

PREPARED BY: NICKOLAS M. SCHMITT PROJECT NUMBER: 2411004 FRITZ ENGINEERING SERVICES, LLC DATE: 01/21/2025 LAST DATE OF FIELD WORK: LAST DATE OF RESEARCH: 01/12/2025 11/21/2024 ANALYSIS BY: NMS CREW CHIEF: JO CHECKED BY: NMS DRAFTED BY: JC SURVEY STATUS SHEET NUMBER **FINAL** 1 OF 3

Per Instrument Number 202401862 (Office of the Recorder of Hancock County, Indiana). Ownership per Deed and Hancock County Parcel Report: ECC State Street LLC

SUBJECT TRACT LAND DESCRIPTION:

Please note, any errors (spelling, grammar, intent, etc.) or omissions in the land description is not a representation of Fritz Engineering Services, LLC (FES). FES did not create the land description, but said land description is shown below exactly as worded / written per the deed of record and/or title commitment.

Lot 2 in Wal-Mart Supercenter, an addition to the City of Greenfield, Indiana, as per plat thereof, recorded January 10, 2001, in Plat Cabinet C, Slide 39, as Instrument No. 0100351, in the Office of the Recorder of Hancock County,

Together with a non-exclusive easement for vehicular and pedestrian ingress and egress as set out in a grant of access easement from Wal-Mart Real Estate Business Trust to O'Charley's, Inc., dated May 21, 2004 and recorded June 11, 2004 as Instrument Number 040008836; as amended by First Amendment to Access Exement dated January 7, 2015, and recorded January 29, 2015 as Instrument Number 201500827, all in the Office of the Recorder



UTILITY DESIGNATIONS ("#")

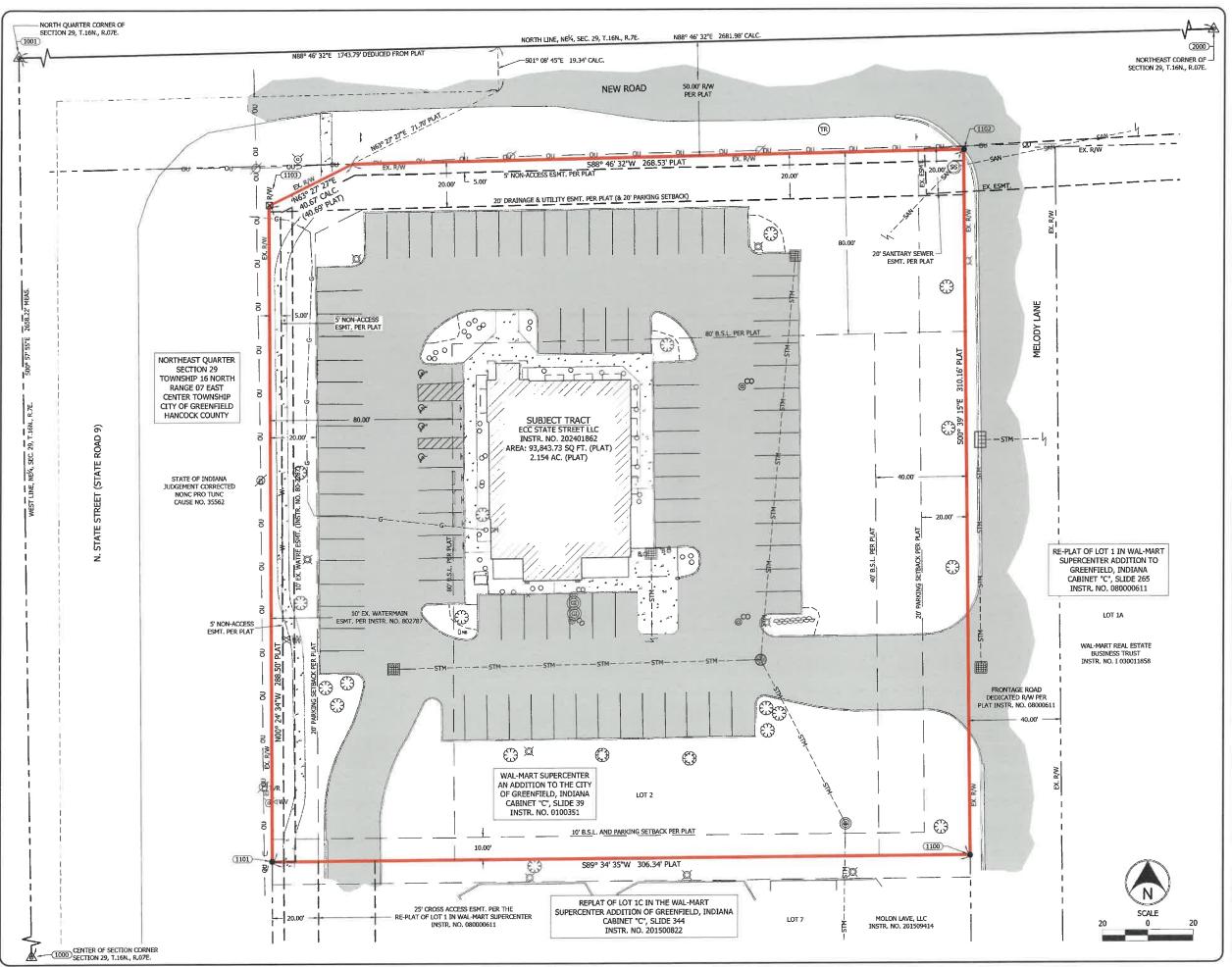
 COMCAST (cable tv) CENTERPOINT ENERGY (gas) MCI (fiber)

 NINE STAR CONNECT (telephone) EVERSTREAM, LLC (communications, fiber) GREENFIELD UTILITIES (electric, sewer, water)

and how this item relates to the survey.

AT&T (communications)

**SURVEY SHEET INDEX** PAGES COVER, MAPS, LAND DESCRIPTION, AND INFORMATION SHEET RETRACEMENT BOUNDARY SURVEY PLAT SURVEYOR'S REPORT AND CERTIFICATION





MONUMENTATION LEGEND

14020 MISSISSINEWA DRIVE CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717 www.Fritz-Eng.com

MON. SET MAG. MONUMENT SET, MAG NAIL WITH STAMPED WASHER  CHISEL "X" CHISEL "X" SCRIBED / CUT AS SET MONUMENT  SET PROPERTY CORNER MONUMENTS TO BE: 24 IN. x § IN. DIA. REBAR WITH STAMPED PINK CAP SET FLUSH WITH GRADE OR WHERE CORNER IS ON HARDSCAPE, A MAG NAIL WITH STAMPED WASHER. MONUMENT STAMPING: "FRITZ ENG. BOUNDARY FIRM # 0152"				
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MON. SET REF. PT., #' OFFSET POINTS IN RELATIONSHIP TO P.L. CORNERS NOT ABLE TO BE SET IN FIELD. "#" INDICATES OFFSET DISTANCE IN FEET.				
REFERENCE MONUMENT / OFFSET POINTS TO BE: 24 IN. x 5/8 IN. DIA. REBAR WITH STAMPED YELLOW CAP SET FLUSH WITH GRADE OR WHERE CORNER IS ON HARDSCAPE, A MAG NAÎL WITH STAMPED WASHER. MONUMENT STAMPING: "FRITZ ENG. REFERENCE POINT FIRM # 0152"				
BOUNDARY SURVEY LEGEND				
# SURVEY POINT / MONUMENT NUMBER I.D. (#) KEYNOTE				
-Q- SURVEY CONTROL (##) PARCEL I.D.				
RECOVERED MONUMENTS  O © GATE POST				
∴ U.S.P.L.S.S. SECTION CORNER LOCATION      ∴ PST FENCE POST      ∴ PST POST				
SET BOUNDARY CORNER MONUMENT				
# # U.S.P.L.S.S. SECTION CORNER 000 STATION OFFSET LABEL				
# # "#" INDICATES SECTION NUMBER ("#" = ALIGN. NAME)				
SURVEY BOUNDARY LINE				
U.S.P.L.S.S. SECTION LINE				
				APPARENT ADJACENT P.L. / LOT LINES APPARENT EASEMENT
				— — — APPARENT REGULATED (LEGAL) DRAIN — SURVEY LINE / APP. DEED LINE
0 X   FENCES				
WATERS EDGE WOODS LINE				
HOUSE / BUILDING ASPHALT PAVEMENT				
CONCRETE PAVEMENT / SIDEWALK MISC. MATERIAL				
ABBREVIATIONS				
B.L. = BOUNDARY LINE L = LENGTH APP. = APPARENT R ≈ RADIUS				
EX. = EXISTING T = TANGENT				
R/W or ROW = RIGHT-OF-WAY CL = CENTERLINE LL = LIMITED ACCESS ALIGN. = ALIGNMENT				
REG. = REGULATED B.A. = BEG. OF ALIGNMENT B.S.L. = BUILDING SET-BACK E.A. = END OF ALIGNMENT				
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ESMT. = EASEMENT P.C. = POINT OF CURVATURE  V.W. = VACIABLE WIDTH P.T. = POINT OF TANCENCY				
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# **RETRACEMENT BOUNDARY SURVEY**

PETERSON ARCHITECTURE 298 S. 10TH ST., #500 NOBLESVILLE, IN 46060

PROJECT ADDRESS:

1993 NORTH STATE STREET GREENFIELD, IN 46140

SURVEY STATUS FINAL	SHEET NUMBER 2 OF 3
ANALYSIS BY: NMS	CREW CHIEF: JC
DRAFTED BY: JC	CHECKED BY: NMS
LAST DATE OF RESEARCH:	LAST DATE OF FIELD WORK:
01/12/2025	11/21/2024
PREPARED BY: NICKOLAS M. SCHMITT	PROJECT NUMBER: 2411004
FRITZ ENGINEERING SERVICES, LLC	DATE: 01/21/2025

#### SURVEYOR'S REPORT:

Fritz Engineering Services, LLC (FES) Project Number: 2411004

#### eral Description and Location:

Part of the Northeast Quarter of Section 29, Township 16 North, Range 07 East, Center Township, Hancock County, Indiana

The purpose of this survey was to provide the client with Retracement Boundary Survey plat as defined in Title 865 as an "original survey" or a "retracement survey". The survey consists of one (1) tract of land "Lot 2" (subject tracts) located at 1993 North State Street, Greenfield, IN 46140.

## Project Control and Basis of Bearings: Indiana State Plane Grid - East Zone (N.A.D. 1983):

Unless noted otherwise, all bearings, distances, areas, and coordinates shown hereon are based upon GPS observations, Indiana State Plane Coordinate Grid System (Indiana East Zone - N.A.D. 1983) and are reported in U.S. Survey Feet and decimal parts thereof. Geold Model 18

The survey control and monument locations were measured with survey grade GPS equipment, with said GPS observations utilizing the INDOT Continuously Operating Reference Station (INCORS) a real-time kinematic (RTK) correction service over the Internet. This system is stated by INDOT as "Providing Network RTK in RTCM (Real Time Correction Message) 2.3, and 3.1 in the MAX (R2K2 Full) and i-MAX (R2K2 LITE) formats via NTRIP (Networked Transport of RTCM via Internet) and TCP/IP, as well as CMR and CMR+ in the MAX (R2K2 Full) and HMAY (R2K2 LTTE) formats via NTRIP, and TCP/IP." Where GPS observations could not be performed or data collected, electronic total

#### Referenced Documents, Surveys, and Plans:

All record descriptions, recorded documents, and platted land (plats and subdivisions) were obtained from the Office of the Recorder of Hancock County, Indiana, unless noted otherwise. Resources and referenced documents found or obtained for this survey that were used to help establish the apparent boundary lines, plat lines, survey lines, alignments, and / or right-of-way lines for this survey are as follows:

#### Google Earth

Hancock County GIS

County Surveyors Office Section Corner References and documents.

#### Recorded Surveys

Subdivision / Secondary Plats

(Please note that this may not be a comprehensive list of all documents researched for or found for this project.)

#### INDOT Research Request and Documentation:

The Indian Department of Transportation (INDOT) research request form was submitted (said request included construction plans, right-of-way plans, and grant/deeds) for this survey per INDOT's website on 01/03/2025. An email from INDOT was received on 01/03/2025 with plan documents attached. The plans of Interest pertaining to these survey limits are described as follows:

State of Indiana State Highway Commission Right-of-Way Plans for State Highway Project No.S-296 with Code No. 0916.

Upon review of the plans, the associated right-of-way parcel number adjoining the subject tract was requested from INDOT. Sald right-of-way document was received from INDOT on 01/13/2025

U.S. Public Land Survey System (USPLSS) Section Line Determination and Recovered Monuments:
The recovery of apparent section corner monuments and the establishment of section lines for Section 29, Township 16 North, Range 07 East, worthy of mention are as follows:

#### Center of Section Corner of Section 29 (Pt. No. 1000):

A 0.3 feet by 0.4 feet exposed stone monument located 0.6 feet below grade and located at its high point (no marking or scribe located on stone monument) was recovered. A stone monument is denoted as marking this section comer location per the Hanoock County Section Corner Record. The said Section Corner Records provide published coordinates (Indiana State Plane East) for this section corner location, with these published section comer coordinates being the same coordinate system as utilized for this survey. These published coordinates were compared to the coordinates measured for this recovered stone monument. The difference between the two coordinates were within 0.32 feet. Therefore, this monument was held as such. There is considered no uncertainty associated with this corner location.

### North Quarter Comer of Section 29 (Pt. No. 1001):

A copperhed type monument with cut "X" 0.2 feet below pavement grade was recovered. A brass plug and plate monument is denoted as marking this section corner location per the Hancock County Section Corner Record. The said Section Corner Records provide published coordinates (Indiana State Plane East) for this section corner location, with these published section corner coordinates being the same coordinate system as utilized for this survey. These published coordinates were compared to the coordinates measured for this recovered monument. The difference between the two coordinates were within 0.14 feet. Therefore, this monument was held as such. There is considered to be up to 0.5 feet of uncertainty associated with this corner location.

### Northeast Corner of Section 29 (Pt. No. 2000) - Calculated Location:

A brass monument is denoted as marking this section corner location per the Hancock County Section Corner Record. A hole in the pavement with no monument was recovered at the apparent location of this section comer. The pavement hole appears per field investigation to resemble the location of a past monument setting. The center of the pavement hole was located. It appears that maybe the brass monument has been damaged and ripped out from the pavement from this location. The said Section Corner Records provide published coordinates (Indiana State Plane East) for this section corner location. These published coordinates were compared to the coordinates measured for this recovered pavement hole. The difference between the two coordinates were within 0.33 feet. The relationship coordinates measured for this recovered poverhead index in the control of this section comer location was calculated based on the other section corner manuments located for this survey and their relationships as shown on the Wal-Mart Supercenter Plat as recorded in Cabinet "C", Slide 39, Instrument Number 0100351. This calculated point was compared to the located pavement hole, with the locations falling within 0.11 feet of each other. Therefore, the located pavement hole was held as this section corner location. There is considered to be up to 0.5 feet of uncertainty associated with this section corner location.

The subject tract recorded deed land description, recorded subdivision secondary plats, the adjoining tracts record descriptions, recorded surveys, and supplemental documents (as listed within this surveyor's report and as labeled on the survey plat) were used to reestablish the boundary lines and right-of-way lines of the subject tract(s).

The subject tract land description is of Lot 2 of the Wal-Mart Supercenter Plat as recorded in Cabinet \*C", Slide 39, Instrument Number 0100351. Therefore, the land description and distance and bearing measurements as denoted on this secondary plat were recreated. The qualifying calls as described in the secondary plat land description to adjoining section corners and section lines were held and utilized to correlate this secondary plat into this survey's coordinate system / basis of bearing to reestablish the adjoining lot lines and/or right-of-way lines for Lot 2 and therefore the boundary lines of the subject tract.

The adjacent west adjoining INDOT right-of-way was retraced per the received INDOT right-of-way document (as denoted on the survey plat). When retraced, the corresponding east right-of-way line of State Road 9 as compared to the west plat line of Lot 2 (corresponding to said east right-of-way) were found to be within 0.1 feet of another, and therefore mathematically resulting in no discrepancy in the location of the line. Lot 2 and the Wal-Mart Supercenter Plat qualify to and along State Road 9 right-of-way, and therefore the plat line that fell with the State Road 9 right-of-way per the right-of-way document as discussed was held as such.

### Easements and Regulated Drainage Note and Disclaimers:

Locations of any easements shown are based on the last/current deeds of record or recorded plats as obtained from the appropriate County Recorder's Office when the research was performed, as well as from other sources cited on this plat, and should not be interpreted that all possible easements have been recovered as a result of an exhaustive title search or abstract of title. Also, if no easements are shown on the survey this does not constitute or indicate that no easements or encumbrances are located onsite or within the subject tract(s), as there is always a possibility that easements and encumbrances do exist and affect the subject tracts. This survey was prepared without benefit of current evidence of source of title (title work, abstract of title, or encumbrance report not performed) for the survey area and therefore subject to any statement of facts revealed by examination of such documents. Easements, legal drains, covenants, right-of-way, etc. (encumbrances) shown heron does not constitute all encumbrances upon these surveyed tracts. It recommended that the client / owner order and request a title commitment, title search, or abstract of title of the subject tracts to verify encumbrances as located on the survey

Per the Hancock County Indiana GIS, no regulated drains are located within our survey limits. The client / owner should verify with the County Surveyors Office and Drainage Board to verify if any regulated drains are located within the subject tract(s) prior to any construction work, land disturbance, or land development. The survey plat not showing a regulated drain does not constitute that a regulated drain does not exist on the subject tract(s) or does not eliminate the need of the property owner to verify with the County Surveyors Office and

#### Observation and Opinions

In accordance with Title 865, Article 1, Rule 12, Sections 1 through 30 of the Indiana Administrative Code, the following observations and

#### A) Availability and condition of reference monuments;

- B) Occupation or possession lines;
- C) Clarity or ambiguity of record descriptions and the relationship between their common lines
- D) The relative positional accuracy of the measurement

#### A) - Availability and condition of reference monuments

The following is a discussion on what monuments were recovered and/or not found in relation to establishing the apparent boundary lines of the subject tracts, deed lines, roadway centerlines and alignments, apparent plat lines, and existing right-of-way (If any), hereon referred to as "survey lines". The number and/or letter associated with each monument represents their monument 1.D. as depicted on the survey plat.

- 1100 A 578 inch diameter rehar with can stamped "I S00081" was recovered and found to be located 0.16 feet south of the southeast lot
- 1101, A 5/8 Inch diameter rebar flush with grade was recovered and found to be located 0.11 feet west of and 0.25 feet north of the
- 1102, A mag neil flush with grade was recovered and found to be located 0.12 feet east of and 0.12 feet south of the northeast lot corner of 1103. A concrete right-of-way monument was recovered and found to be located 0.21 feet east of and 0.23 feet north of the northwest lot
- corner of Lot 2 (corresponding State Road 9 right-of-way corner)

Bearing and/or distance relationships to recovered monuments on the adjoining properties, roadways, or as located outside the survey limits are shown on this survey for the purpose of establishing a history of monumentation and to assist in establishing the "survey lines" as ocated within the survey limits or subject tracts only. This survey does not represent a survey of any type of said adjoining properties,

#### B) - Occupation of possession lines:

Regarding "lines of occupation or possession", this term refers to lines which are marked by visible, obvious, well-defined and maintained, man-made or placed objects or limits, such as, but not limited to fences, hedges, mow lines, field-divide lines, woods lines, retaining walls, etc. The uncertainty dited for a line of occupation is general in nature and in not intended to be specific for every point along the line. Therefore portions of the occupation lines may vary from the surveyed lines by distances greater or less than the uncertainty cited in this report or shown on the plat of survey. When fences or other lines of occupation are shown on the plat, they have been located only at the ends or specific locations noted; therefore, for the purpose of this survey, such lines are assumed to run straight between said locations, but n actuality may vary slightly from such straight line

If field locates shown on the survey plat are not discussed in this report and / or dimensioned or labeled as it pertains to the boundary lines, these items are located greater than 5 feet from the established boundary lines

Significant inconsistencies in the lines of occupation observed during this survey are as follows

- Overhead electric line located just north of but within 5 feet of the north lot line / boundary line as shown on the survey.
- Sidewalk that runs north to south along State Road 9 is located outside of the right-of-way and no transportation, pedestrian, or sidewalk type easement is shown on the Wal-Mart Supercenter Plat as it relates to Lot 2.

Throughout the subject tract, asphalt pavement parking lots and drives, concrete pads, other hardscapes, utility lines and utility appurtenances are located within five (5) feet or across the subject tracts dead lines as shown on the survey plat. To list all dimensions for all these structures and appurtenances as it relates to the boundary lines would be too numerous to disclose. As documented herein, the most important features have been described and measured as it pertains to the lines of occupation

### C) - Clarity or ambiguity of record descriptions and the relationship between their common lines:

There are no gaps and / or overlaps between the subject tracts and their adjoiner's.

### D) - The relative positional accuracy of the measurements

The relative positional accuracy of this survey is within the specifications for a Urban Survey: 0.07 feet (21 millimeters) plus 50 parts per million as defined in IAC 865 1-12.

#### GENERAL NOTES:

INDIANA ADMINISTRATIVE CODE: In accordance with Title 865, Article 1, Chapter 12 ("Rule 12") of the Indiana Administrative Code-State Board of Registration for Land Surveyors, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established this survey as a result of uncertainties in reference monumentation (both availability and condition); in lines of occupation or possession; In record descriptions and/or plats; and as introduced by random errors in measurement condition); In lines of occupation or possession; In record descriptions and/or plats; and as introduced by random errors in measurement ("Relative Positional Accuracy"). THERE MAY BE UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES. The client should assume there is an amount of uncertainty along ANY line or at ANY corner equal in magnitude to the discrepancy in the location of the line

The existing right of way lines, parcel ownership lines, and ownership information shown on this plat are subject to change based on verification/validation of title. The source used to plot existing right of way lines and ownership lines shown on this plat is from the last/current deeds of record obtained from the appropriate County Recorder's Office or other state agencies when the research was performed, as well as from other sources cited on this plat. Where no record right of way could be found, the edge of pavement shown may possibly act as an easement by prescription. It is always presumed that there are rights associated to all areas where right of way monuments or possession exist; however, documentation is not always provided to show the extent of those rights. No title search or encumbrance report was performed for this project.

Any depiction of possible intrusion, trespass, invasion, and/or possible encroachment into the possessions or rights of another is not a matter of this survey. An attorney and/or title company should be consulted in all matters with respect to any rights of possession, matters of title, and all things with respect to any encumbrances if depicted on this survey.

Existing monuments recovered and discussed within this report represent true and accurate locations as depicted, corresponding with distances and/or azimuths/bearings (if referenced). Other points recovered but not shown, may be close, but were not within the estimated uncertainty nor did they have any impact on the establishment of lines as shown herein. Secondary control points may have been set for the use in locating or validating other evidence when establishing rights of way or apparent property/boundary l

Bearing and distance relationships to found monuments on the adjoining properties are shown on the survey map or plat for the purpose of establishing a history of monumentation and to assist in establishing the boundary lines of the subject tracts only. This map or plat does not represent a survey of said adjoining properties

Field measurements for this survey were made in accordance with spedifications outlined in 865 I.A.C. 1-12. The decimal places shown bereon for measurements and coordinates do not necessarily indicate the precision of the work, but to allow for closure and adjustment by

This survey plat or map was prepared without benefit of current evidence of source of title (Title Work or Encumbrance Report not performed) for the subject tracts and therefore subject to any statement of facts revealed by examination of such documents. Easements, legal drains, covenants, right-of-way, etc. shown heron does not constitute all encumbrances upon these surveyed tracts.

Monuments were set this survey at all corners where no existing monumentation was recovered except as noted. Monuments that were set as an offset were set as such due to existing conditions (trees, utilities, buildings, watercourses) making it unrealistic or impossible to set the

When fences or other lines of occupation are shown on the plat, they have been located only at the ends or specific locations noted; therefore, for the purpose of this survey, such lines are assumed to run straight between said locations, but in actuality may vary slightly

Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the e of overhead or underground containers or facilities that may affect the use or development of this tract.

No warranty, either expressed or implied, is made as to the accuracy and/or completeness of Information provided by governm authorities and/or third parties, or as to its fitness for any particular purpose or use, including but not limited to information presented or zoning, setback requirements, flood hazard zones, and wetlands areas. In no event will Fritz Engineering Services (FES), its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information.

This survey plat has been prepared for use on this particular project and for the exclusive use of the person(s) or entity herein named and is not certified for use by any other party. The evidence, possession, ownership, conditions etc. could change constantly and the use of this survey is limited only to the date indicated herein.

Since the date of this survey, conditions may have occurred that are beyond the knowledge or control of the undersigned surveyor that may have altered the validity and circumstances shown or noted herein. The location of the survey lines and corners are subject to the evidence found in the performance of this survey. Additional evidence presented to the undersigned surveyor may alter the location of said lines and

The plat and survey were prepared based upon research of the public records to determine the last deed of record for source of title for the subject tract and adjoining properties and is therefore subject to any statements of facts revealed by examination of prior deeds or other documents that may exist that would affect this parcel.

As used in this survey, the term "certify" means to state or declare a professional opinion of conditions regarding those facts or findings which are the subject of the certification and does not constitute a warranty or guarantee, either expressed or implied. The surveyor can only certify to those items that are visible and/or things that can be observed, measured, or counted. See the "General Notes & Disclaimers" as shown on this survey plat for additional information in regards to this Surveyors Report and the

FRITZ

### LAND SURVEYOR'S CERTIFICATION:

I, the undersigned, do hereby certify that I am a registered land surveyor icensed in compliance with the laws of the State of Indiana, and to the best of my knowledge and belief the within plat or map repr survey made under my supervision in accordance with Title 865, Article 1 Chapter 12 of the Indiana Administrative Code.

Witness my signature this date of: 01/21/2025 Nikolac M. Shaitt

NÍCKOLAS M. SCHMITT

Professional Land Surveyor Registration No. LS21200004. State of Indiana



### AFFIRMATION STATEMENT:

I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required

Signature: Nikoloo M. Schnitt

Printed Name: NICKOLAS M. SCHMITT

REVISIONS

DESCRIPTION

DATE

### RETRACEMENT BOUNDARY SURVEY

CLIENT:

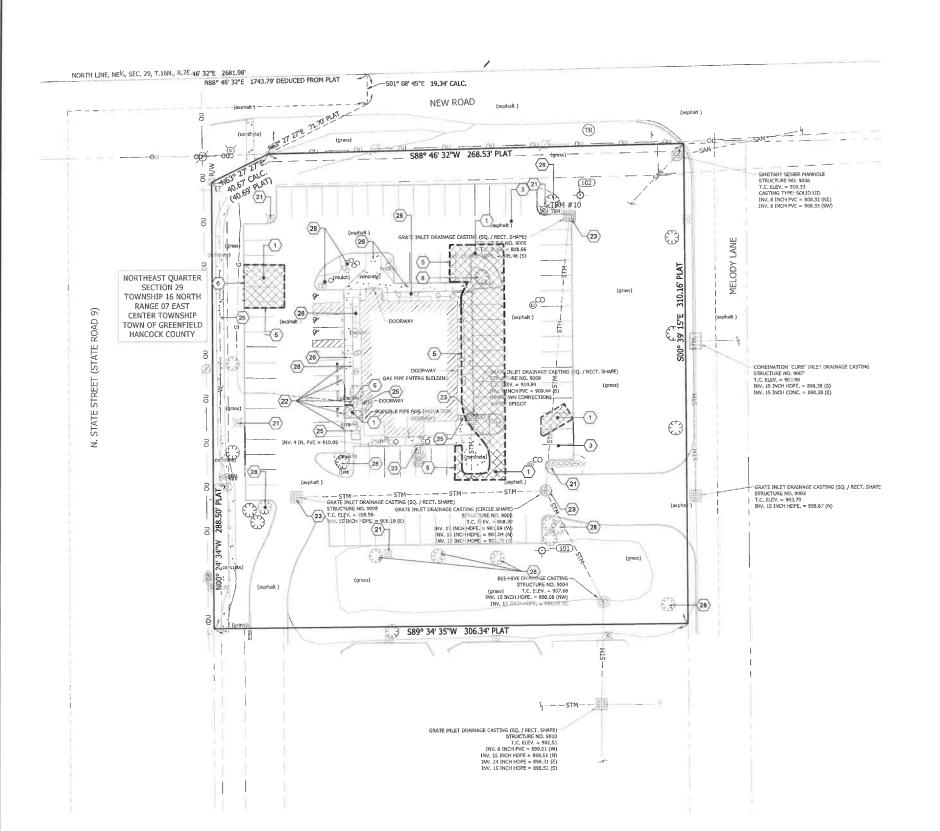
PETERSON ARCHITECTURE 298 S. 10TH ST., #500 NOBLESVILLE, IN 46060

PROJECT ADDRESS:

1993 NORTH STATE STREET GREENFIELD, IN 46140

PREPARED BY: NICKOLAS M. SCHMITT PROJECT NUMBER: 2411004 FRITZ ENGINEERING SERVICES, LLC DATE: 01/21/20 LAST DATE OF RESEARCH: LAST DATE OF FIELD WORK: 11/21/2024 ANALYSIS BY: NMS CREW CHIEF: JC CHECKED BY: NMS DRAFTED BY: JC SURVEY STATUS SHEET NUMBER 3 OF 3 FINAL

Drainage Board of such existence.







REMOVE EXISTING PAVEMENT, HARDSCAPES, AND CURB AS REQUIRED.

SAW CUT CURB / PAVEMENT. REMOVE EXISTING CURB.

REMOVE EXISTING SHRUB/TREE.

21 PROTECT EXISTING UTILITY / LIGHT POLE.
22 REMOVE EXISTING SIGN POLE

PROTECT EXISTING STORM / SANITARY / UTILITIES THROUGHOUT CONSTRUCTION.

24 EXISTING SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.

S UTILITIES TO REMAIN, PROTECT DURING CONSTRUCTION.

26 PAVEMENT / CURB / WALK TO REMAIN.

28 EXISTING TREE/SHRUB TO REMAIN.

### NOTES

- FOR PRE-CONSTRUCTION / DEMOLITION EROSION CONTROL MEASURES, SEE EROSION CONTROL SHEET C501 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ADDITIONAL INFORMATION AND REQUIREMENTS.

  FOR ANY ROADWAY WORK, COORDINATE WITH THE LOCAL MINICIPALITY STREET DEPARTMENT/ DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION. MAINTENANCE OF TRAFFIC (M.O.T.), REQUIRED FOR ALL ROADWAY / INGHI-TOF-MAY WORK, MAINTENANCE OF TRAFFIC SHALL BE ACCORDANCE WITH THE INDIANAM MUTCH MANULAL, INDOT DESIGN MANUAL, INDOT DESIGN MANUAL, INDOT SPECIFICATIONS AND STANDARD DRAWINGS, AND ANY ADDITIONAL REQUIREMENTS FROM THE LOCAL MUNICIPALITY OF THE CORRESPONDING ROADWAY.
- 3. CONTRACTOR TO CORDINATE WITH ALL UTILITY COMPANIES PRIOR CONSTRUCTION. ALL DEMOLITION OR REMOVAL OF EXISTING UTILITIES, RELOCATION OF UTILIZES, OR PROPOSED CONNECTIONS TO EXISTING UTILITIES SHALL BE COORDINATED WITH AND APPROVED BY THE CORRESPONDING UTILITY COMPANY PRIOR TO ANY WORK.
- ALL REMOVAL, HANDLING, STORAGE, AND DEPOSABLE OF ALL REQUIRED ITEMS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS AND REQUIREMENTS.



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1. REV PER TRC COMMENTS 859/2025 AF
REVISIONS AND ISSUES DATE BY

GENERAL NOTES / LEGEND

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### PROJEC

# FIFTH THIRD BANK

PROJECT LOCATION
1993 N. STATE ST.
GREENFIELD, INDIANA 46140
HANCOCK COUNTY
SECTION, TOWNSHIP, RANGE
SW 1/4, S29, T16N, R7E

PETERSON ARCHITECTURE

298 S, 10TH ST, STE, 500 NOBLESVILLE, IN 46060

PLANDATE

4/29/2025

DESIGN: CHECK DRAWN KG
PROJECT NO.

2411004

SHEET NAME

EXISTING CONDITIONS
& DEMOLITION PLAN

C102

EXISTING UTILITY & SEWER DISCLAIMER:
UTILITY LOCATIONS, CROSSINGS, DEPTHS, AND INFORMATION ARE APPROXIMATELY SHOWN. THIS
INCLUDES ALL SEMER (SANITARY, STORM, AND COMBINE) LOCATIONS AND MEASURE DOWN

UTILITY LOCATIONS, CROSSINGS, DEPTHS, AND INFORMATION ARE APPROXIMATELY SHOWN. INCLUDES A LL SEWER (SANITARY, STORM, AND COMBINE, LOCATIONS AND MEASURE DOWN INFORMATION, LOCATIONS ARE SHOWN PER INDIANA B11 MARKINGS AS LOCATED BY THE SURVEYOR (BY OTHERS), G.I.S. DATA (IF AVAILABLE), AND UTILITY COMPANY CORRESPONDENCE (IF ANY), ALL UTILITY LOCATIONS, SIZES, MATERIALS, INVERT, DEPTHS, LENGTHS, ETC. ARE CONSIDERED APPROXIMATE AND MAY BE SKEPTICAL IN NATURE.

THE UTILITIES INDICATED ON THESE PLANS MAY NOT BE A COMPETE INVENTORY OF ALL EXISTING UTILITIES CURRENTLY ON OR NEAR THE STIE. THE RATH, SIZE AND LOCATION OF THESE UTILITIES MAY BE APPROXIMED. UNTIL THEY ARE EITHER RELOCATED, BY CALLING INDIANA BIJ AND OTHER UTILITY LOCATE COMPANIES, OR UNTIL THEY ARE EXCANATED TO VERIFY THE LOCATION, DEFIN, AND PATH OF THE UTILITY LINES, LOCATIONS ARE SHOWN PER INDIANA BIJ MARKINGS AS LOCATED BY THE SURVEYOR (BY OTHERS), G.I.S. DATA (IF AVAILABLE), AND UTILITY COMPANY CORRESPONDENCE (IF ANY).

NO ASSUMPTIONS WERE MADE CONNECTING UTILITIES OBSERVED AND LOCATED TO OTHER APPURTENANCES OR HOW THEY ENTER OR CONNECT INTO ADJOINING HOUSES OR BUILDINGS UNLESS IDENTIFIED BY THE SURVEYOR FER ONSITE UTILITY MARKINGS OR AS INDICATED BASED ON A ISJ. / UTILITY PAIN DATA, PRIZE REMISERIES, SERVICES, ILC DID NOT ADD, INTERPOLATE, ASSUME, OR DEPICT ANY UTILITY LINE DIRECTIONS OF CONNECTIONS OUTSIDE WHAT WAS PROVIDED. NO ATTEMPT WAS MADE AS PART OF THIS PROJECT TO OBTAIN OR SHOW DATA CONCERNING BOSTEPICE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY, PUBLIC SERVICE FACILITY, OR UTILITY SERVICE LINES TO THE PROPERTY. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS PROJECT TO LOCATE UNDERSOUND UTILITIES AND/OR SERVER STRUCTURES.

NO WARRANTY, ETHER EXPRESSED OR IMPLIED, IS MADE TO THE ACCURACY AND/OR COMPLETENESS OF INFORMATION PRESENTED ON UNDERGOUND UTILITIES AND SEWERS, OR AS TO ITS FITNESS FOR ANY PRATICULAR PURPOSE OR USE. IN NO EVENT WILL FRITZ ENGINERING SERVICES, LC, ITS EMPLOYEES, AGENTS, AND/OR ASSIGNS BE LIABLE FOR ANY DAMAGES ARISING OUT OF THE FURNISHING AND/OR USE OF SUCH INFORMATION.

CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL EXISTING UTILITIES WITHIN AREA OF WORK PRIOR TO CONSTRUCTION, ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS FOUND.

SURVEY CONTROL TABLE			
NORTHING	EASTING	ELEVATION	POINT DESCRIPTION
1662678.78	299421.48	909.93	SURVEY CONTROL
1662908.33	299445.67	910.75	SURVEY CONTROL
1662712.42	299211.21	908.78	SURVEY CONTROL
	NORTHING 1662678.78 1662908.33	NORTHING EASTING 1662678,78 299421.48 1662908.33 299445.67	NORTHING EASTING ELEVATION 1662678.78 299421.48 909.93 1662908.33 299445.67 910.75

BENCHMARK TABLE						
POINT NO.	ELEVATION	POINT DESCRIPTION				
10	912,37	PTBM / CUT BOX ON S FACE OF CONC BASE FOR LIGHT POLE, POLE IS LOCATED IN NE CORNER OF PARKING LOT				

#### SURVEY CONTROL NOTES

Fritz Engineering Services, LLC (FES) recovered three onsite existing survey monuments as described as follows:

5/8 diameter rebar with red cap stamped "Kreingers Traverse" flush with grade

These three recovered monuments were utilized as survey control points for this project and survey. FES reestablished horizontal coordinates and vertical datum (elevations) on these monuments as shown on the survey control table.

### SURVEY CONTROL AND BASIS OF BEARING INFORMATION

Indiana State Plane Grid - East Zone Zone (N.A.D. 1983):

Initiation State Plante of the "Use 20th (MAX) 1983).

Unless noted otherwise, all bearings, distances, areas, and coordinates shown hereon are based upon GPS observations, Indiana State Plante Coordinate Grid System (Indiana East Zone - N.A.D. 1983) and are reported in U.S. Survey Feet and decimal parts thereof, Geold Model 18 was used for all GPS observations.

The survey control were measured with survey grade GPS equipment, with said GPS observations utilizing the INDOT Continuously Operating Reference Station (INCORS) a real-time kinematic (RTK) correction service over the internet. This system is stated by INDOT as "Providing Network RTK in RTCM (Real Time Correction Message) 2.3, and 3.1 in the MAX (R2XZ Full) and I-MAX (R2XZ LTIE) formats via NTRIP (Networked Transport of RTCM via Internet) and TCP/IP, as well as CMR and CMR+ in the MAX (R2XZ Full) and I-MAX (R2XZ LTIE) formats via NTRIP, and TCP/IP," Where GPS observations could not be performed or data collected, electronic total stations applying standard radial surveying techniques were utilized to establish additional secondary control,

### TOPOGRAPHIC SURVEY DISCLAIMERS

#### BOUNDARY ANALYSIS DISCLAIMER:

This survey represents a topographic survey only. This survey, map, plat, or drawing is not intended to represent a retracement or original boundary survey (as defined in Title 865 of the Indiana Administrative Code as moriginal survey) or "retracement survey"), an ALTA / NSFS Land Title Survey, Location Control Route Survey, or a Surveyor's Location Report. No boundary analysis was performed for this survey and all apparent boundary lines, right-of-way, alignments, easements, etc., that are shown on this survey are for reference only and are approximate/speculative in nature and shall be treated as such. Documentation (or lack thereof) regarding right of way, easements, or encumbrances shown on this survey does not constitute right of way clearance. No title work or title and encumbrance reports were examined for this survey. It is upon the owner, client or engineer to determine if a boundary survey is necessary or if any encumbrances, such as easements, exist onsite or within the survey limits.

#### SEWER STRUCTURE DETAILS (MEASURE DOWN) INFORMATION AND DISCLAIMERS:

Unless otherwise stated, sewer measurements were performed with limited access. Field measurements were determined as physically observed (sometimes with limited visibility) and without confined space entry. Pipe sizes and measurements under certain conditions may be provided from other sources (as stated) in electronic format via GIS data or from record drawings provided by other agencies.

Storm, sanitary, or combined sewers were located per visible, observed evidence only. Excavations of sewers, or corresponding structures, were not conducted by Fritz Engineering Services, LLC,

Sewer pipe lengths as shown per this survey are from each field located shot of the structures and are not shortened or lengthened to adjust for the size, orientation, or shape of structures, and therefore the pipe lengths as depicted on this survey are approximate.

Neasure down data (Structure Details) for sewer structures is considered approximate, and while extensive effort was made to get all pertinent information and measurements for each sewer structure, physical and safety issues do cause limitations in the ability to always collect and measure accurately the field data associated with each structure. Depth, orientation, and condition of the structures and incoming pipes can make determining its material types, and inverts difficult to determine or evaluate. Fritz Engineering Services, LLC enployees do not enter sewer structures to collect and measure data due to safety, health, and liability issues. Fritz Engineering Services, LLC, its employees, agents, and/or assigns shall not be held liable or their work be considered incomplete if discrepancies are found between the measure down data collected for this project and onsite field checks and/or observations performed by other parties. For some sewer structures, the accuracies for inverts may have an uncertainty up to 0.5 feet and pipe sizes may vary up or down one pipe size.

#### **UTILITY NOTES AND DISCLAIMERS:**

The utilities indicated on this survey may NOT be a compete inventory of all existing utilities currently on or near the site. The path, size and location of these utilities may be approximate until they are either relocated, by calling Indiana 811 and other utility locates over the companies, or until they are excavated to verify the location and path of the utility lines. Indiana 811 was contacted for this survey and therefore only public utilities were marked private utility locates were NOT contacted for this survey. Only what was marked by the utility companies via Indiana 811 were field located and shown on the survey. No assumptions were made connecting utilities observed and located to other appurtenances or how they enter or connect into adjoining houses or buildings unless observed or identified by Indiana 811. Fritz Engineering Services, LLC did not add, interpolate, assume, or depict in the survey any utility line directions or connections outside what was marked by utility field locates and locators. No attempt was made as part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility, public service facility, or utility service lines to the property. No excavations were made during the course of this survey to locate underground utilities and/or sewer structures. Before design or construction is to begin, locations should be confirmed with the appropriate agencies.

Underground utilities depicted on the attached survey have been located per field observations and/or per site plans only. No warranty, either expressed or implied, is made to the accuracy and/or completeness of information presented on underground utilities, or as to its fitness for any particular purpose or use. In no event will Fritz Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information.

### GENERAL INFORMATION AND DISCLAIMERS:

- When the field work was performed, access to houses/buildings were not all available. Where finish floor elevations (FFF) were field measured where inside access was not permitted, the FFE measurements were done at the lip of the doors, and not inside the structure itself. This could result in a slight discrepancy from the true FFE of the building structure, and therefore and FFE's shown on the survey are approximate.
- Removable objects, like fire pits, lawn furniture, playgrounds, sports equipment, etc. generally are not located and shown for this survey.
- 3. Trees are typically located individually except where they were either in small clusters or formed a semi-straight wood / tree line. In these scenarios, the outside limits of the tree clusters are generally located, and a visual best-fit line of the tree lines are identified, not the individual trees themselves. This topographic survey is not intended to be used as a tree inventory survey and any information assigned to the trees is preliminary in nature.
- Subsurface utilities, storage and environmental conditions were not examined or considered as a part of this survey.
- survey.

  5. No warranty, either expressed or implied, is made as to the accuracy and/or completeness of information provided by governmental authorities and/or third parties, or as to its fitness for any particular purpose or use, including but not limited to information presented on zoning, setback requirements, flood hazard zones, utilities, and wetbands areas. In no event will First Engineering Services, LLC, its employees, agents, and/or assigns be liable for any damages arising out of the furnishing and/or use of such information.
- Since the date of this survey, changes in site conditions may have occurred that are beyond the knowledge or control of the undersigned surveyor and may have altered the validity and circumstances shown or noted herein.
- As used in this survey, certify means to state or declare a professional opinion of conditions regarding those facts or findings which are the subject of the certification and does not constitute a warranty or guarantee, either expressed or implied.



14020 MISSISSINEWA DRIVE CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717 www.Fritz-Eng.com



REVISIONS AND ISSUES DATE BY

GENERAL NOTES / LEGEND

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811

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2 WORKING DAYS BEFORE YOU DIG

PROJECT

# FIFTH THIRD BANK

PROJECT LOCATION
1993 N. STATE ST.
GREENFIELD, INDIANA 46140
HANCOCK COUNTY
SECTION, TOWNSHIP, RANGE
SW 1/4, S29, T16N, R7E

PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

PLANDATE

4/29/2025

DESIGN CHECK DRAWN
AF AF

PROJECT NO.

2411004

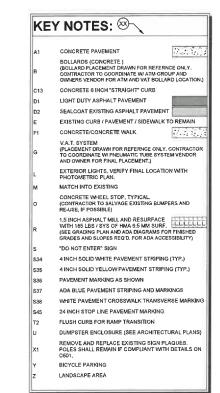
EXISTING CONDITIONS & SURVEY INFO

C103

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SHEET SIZE, SCALE, AMS FULL, BLEED D (JAJOD X 22,00 BICHE



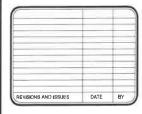






14020 MISSISSINEWA DRIVE CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717 www.Fritz-Eng.com





GENERAL NOTES / LEGEND

"IT'S THE LAW" 811.

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PROJE

# FIFTH THIRD BANK

PROJECT LOCATION
1993 N, STATE ST.
GREENFIELD, INDIANA 46140
HANCOCK COUNTY
SECTION, TOWNSHIP, RANGE
SW 1/4, S29, T16N, R7E

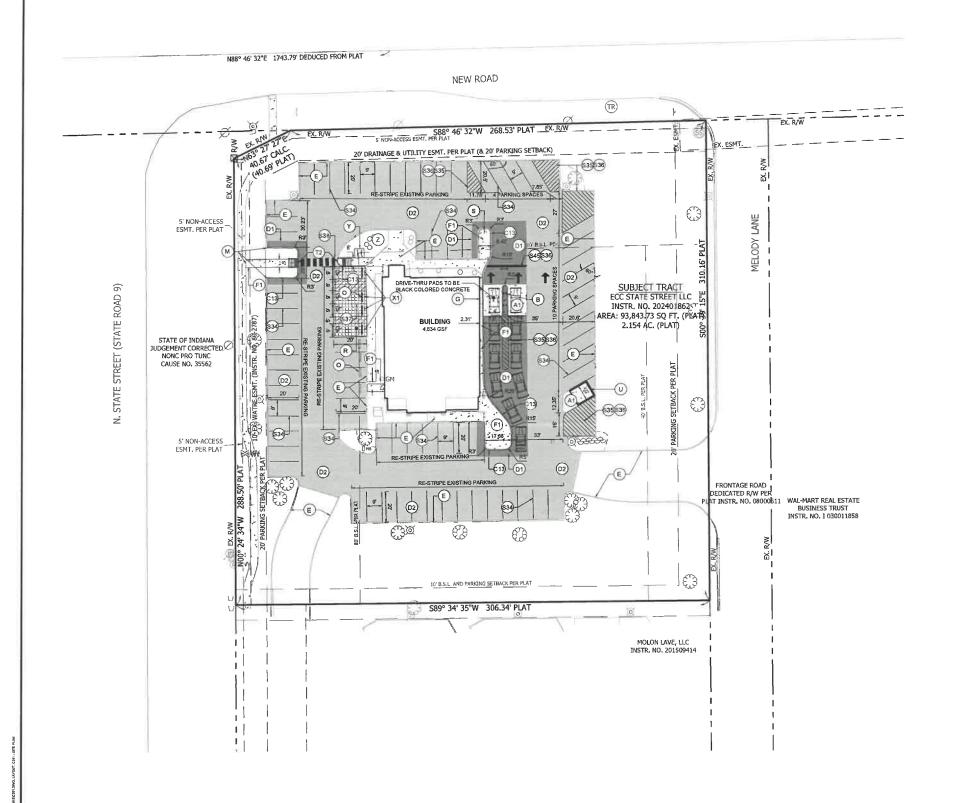
### PETERSON ARCHITECTURE

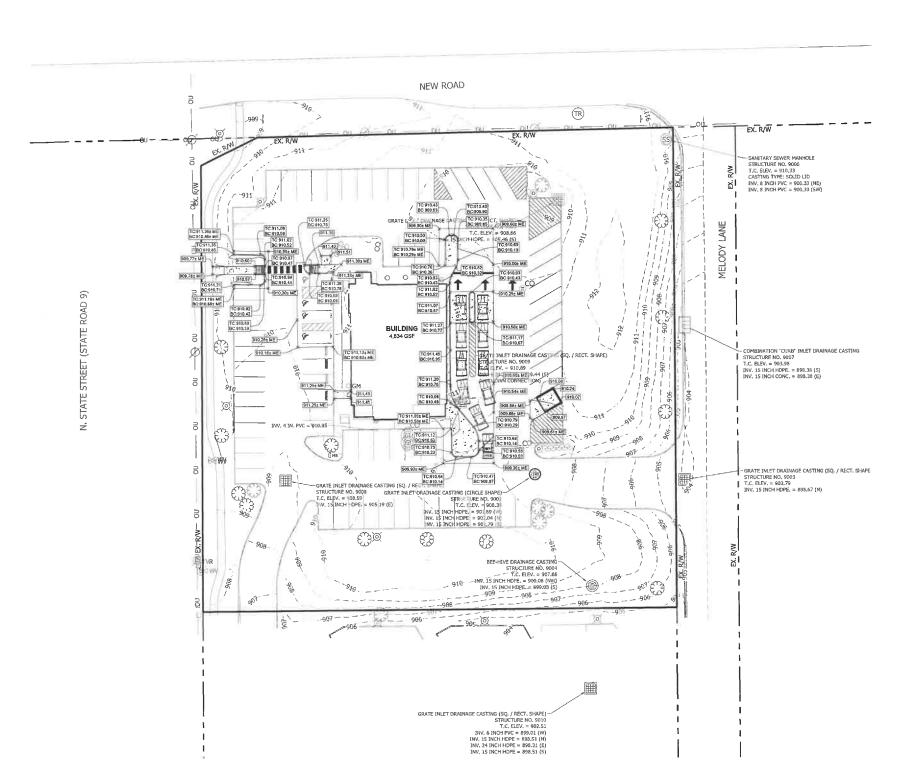
298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

PLAN DATE		
	4/29/202	25
DESIGN AF	CHECK	DRAWN KG
PROJECT NO	241100	)4
SHEET NAME		

SITE PLAN

----





### **GRADING LEGEND:**

STORM MANHOLE

STORM COMBINATION/CURB INLET

STORM AREA INLET

STORM BEEHIVE/YARD INLET STORM FLARED END SECTION

STORM MECHANICAL SEPARATOR (REF. PLAN FOR SIZE/TYPE)

STORM STRUCTURE NUMBER

FLOW LINE, SWALE / GRASS --- FLOW LINE, PAVEMENT

SLOPE / RAMP SLOPE SURFACE DRAINAGE FLOW ARROW DIRECTION

-## - - EXISTING CONTOUR AND LABEL PROPOSED CONTOUR AND LABEL

---- GRADE BREAK R:XXX.XX FLOW LINE / SWALE SPOT ELEVATION

XXX.XX SPOT ELEVATION

XXX.XX H.P. SPOT ELEVATION, HIGH POINT XXX.XX L.P.) SPOT ELEVATION, LOW POINT

TC:XXX.XX BC - BOTTOM OF CURB/GUTTER ELEVATION

TW.XXX.XX TW - TOP OF WALL ELEVATION BW-XXX.XX BW - BOTTOM OF WALL ELEVATION XXX.XX RIM CASTING RIM ELEVATION

- - - ME MATCH EXISTING ELEVATION

CONSTRUCTION LIMIT LINE

REF. C101 FOR ABBREVIATIONS AND ADDITIONAL LEGEND INFORMATION.





CARMEL, INDIANA 46033
P: 317.324.8695 F: 317.324.8717
www.Fritz-Eng.com





GENERAL NOTES / LEGEND

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# FIFTH THIRD **BANK**

PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW<sup>1</sup><sub>4</sub>, S29, T16N, R7E

### PETERSON ARCHITECTURE

NOBLESVILLE, IN 46060

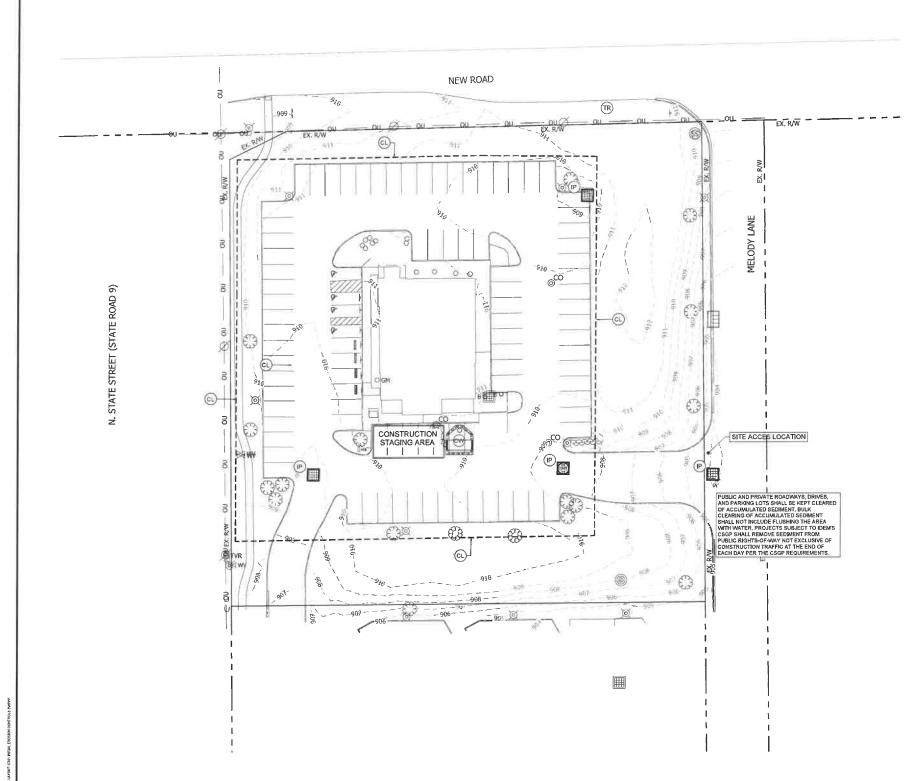
PLAN DATE.	4/29/20:	25
DESIGN. AF	CHECK AF	DRAWN. KG
PROJECT NO		

**GRADING PLAN** 

C301

DATUM OF 1988 (NAVD88). THE VERTICAL DATUM WAS ESTABLISHED BY THE SURVEYOR PER GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS UTILIZING INCORS NETWORK AND GEOID18. THEREFORE, THE ELEVATIONS, CONTOURS AND GRADES SHOWN ON THIS SHEET AND PLAN SET ARE IN NAVD88.

**SURVEY VERTICAL DATUM INFORMATION:** THE SURVEY AND THIS PROJECT ELEVATIONS ARE ESTABLISHED BASED ON THE NORTH AMERICAN VERTICAL





K	EY NOTES: ®	
IP.	INLET PROTECTION	
CE	CONSTRUCTION ENTRANCE	B333
PS	PERMANENT SEEDING	
TS	TEMPORARY SEEDING	
EB	EROSION CONTROL BLANKET WITH PERMANENT SEEDING	$\otimes\!\!\!\!\otimes\!\!\!\!\otimes$
SP	SILT PERIMETER PROTECTION (SILT SOCK)	SP -
SF	SILT FENCE -	sF
CL	EROSION CONTROL LIMITS .	
cw	CONCRETE WASHOUT	
SUB	PAVEMENT SUBBASE	
LA	LANDSCAPE PLANTING AREA SEE SHEET L101 FOR PERMANENT E.C. MEASURE	
RP	OUTLET RIP-RAP PROTECTION	PA
CD	ROCK CHECK DAM	<b>€</b>

THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA:

LIST OF QUALIFICATIONS:
CONTRACTOR IS TO INFORM GREENFIELD OF WHOM THIS STORMWATER POLLUTION PREVENTION INDIVIDUAL IS
AT THE PRE-CONSTRUCTION MEETING, PRIOR TO ANY EARTH DISTURBING & CONSTRUCTION ACTIVITIES.

THE INDIANA STORM WATER QUALITY MANUAL AND GREENFIELD STANDARDS AND DETAILS SHALL BE USED IN CONJUNCTION WITH THIS SET OF EROSION CONTROL PLANS.

## **EROSION CONTROL NOTES:**

- All disturbed areas shall be restored to initial / pre-construction conditions and grades. All flow lines shall be re-established and vegetalities cover Contractor may be required to extend vegetalities restoration period to warmer months to ensure seed germination.

  All erosion control practices shall be in accordance with the "Indiana Storm Water Quality Manual" and the SCS "Field Office Technical Guide".

- The governing municipality has the right to require additional erosion control measures in the field as conditions warrant.
   The storm water quality unit shown on these plans shall be the unit installed during the development of this property. No substitutions shall be permitted.
- There shall be no dirt, debris, or storage of materials in the street or alleyways. Public and private roadways, drives, and parking lots shall be kept cleared of accumulated sediment. Bulk clearing of accumulated sediment shall not include flushing the area with water. Projects subject to IDEM's CSGP shall remove sediment from public rights-of-way not exclusive of construction traffic at the end of each day per the CSGP requirements,
- Stabilization shall be initiated by the end of the seventh (7<sup>th</sup>) day the area was left idle. Stabilization must be completed within fourteen (14) days after initiation.
- . Additional erosion and sediment control measures may be required by the inspector
- 5. Copies of the letter of intent and response from the governing municipality office for Construction Stormwater General Permit compliance shall be provided
- Copies of the letter of intent and response from the governing municipality office for Construction Stormwater General Permit compliance shall be provided onsile, when required.
   All arcision control materials shall be approved by the governing municipality department prior to installation.
   All proposed erosion and sediment control shall be in conformance with the GREENFIELD Stormwater Design and Specifications Manual and Requirements, latest editions, Discrepancies between the plans and the manual shall not alleviate the contractor from adhering to the requirements set forth in the manual.

EROSION CONTROL MEASURE	*MAINTENANCE	INSTALLATION SEQUENCE	
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AN NEEDED	PRIOR TO CLEARING AND GRACING	
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING	
INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	AFTER EACH PILET IS PLACED	
SEED, SOD & LANDSCAPE AROUND UNITS FINISHED	WATER AS NEEDED	AFTER FINISHED GRADING AROUND FINISHED UNITS	
REMOVAL OF INLET PROTECTION	NVA	AFTER ALL AREAS CRAINING TO THESE AREAS ARE STABILIZED	

"- SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

\*\*FOR ADDITIONAL EROSION CONTROL INFORMATION AND NOTES, SEE SHEET C504 & C505.





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GENERAL NOTES / LEGEND:

"IT'S THE LAW" Know what's below. Call before you dig.

# FIFTH THIRD **BANK**

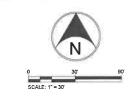
PROJECT LOCATION. 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1/4, \$29, T16N, R7E

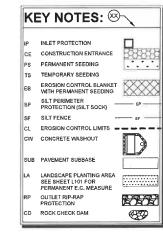
### PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

PLAN DATE:		
	4/29/202	25
ESIGN AF	CHECK	DRAWN: KG

**INITIAL EROSION** CONTROL SWPPP





THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA:

LIST OF QUALIFICATIONS:
CONTRACTOR IS INFORM GREENFIELD OF WHOM THIS STORMWATER POLLUTION PREVENTION INDIVIDUAL IS
AT THE PRE-CONSTRUCTION MEETING, PRIOR TO ANY EARTH DISTURBING & CONSTRUCTION ACTIVITIES.

THE INDIANA STORM WATER QUALITY MANUAL AND GREENFIELD STANDARDS AND DETAILS SHALL BE USED IN CONJUNCTION WITH THIS SET OF EROSION CONTROL PLANS.

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- There shall be no dirt, debris, or storage of materials in the street or alleyways.
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EROSION CONTROL MAINTENANCE SCHEDULE						
EROSION CONTROL MEASURE	*MAINTENANCE	INSTALLATION SEQUENCE				
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	PRIOR TO CLEARING AND GRADING				
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING				
INLET PROTECTION SEED, SOD & LANDSCAPE AROUND UNITS FINISHED	WEEKLY, AFTER STORM EVENTS AND AS NEEDED WATER AS NEEDED	AFTER EACH BLET IS PLACED. AFTER FINISHED GRADING AROUND FINISHED UNITS:				
REMOVAL OF INLET PROTECTION	Nex	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABLIZED				

\*- SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

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NERAL NOTES / LEGEND

"IT'S THE LAW" Know what's below. Call before you dig.

2 WORKING DAYS BEFORE YOU DIG.

# FIFTH THIRD **BANK**

PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1/4, S29, T16N, R7E

### PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

4/29/2025 CHECK: I 2411004

MASS GRADING & CONSTRUCTION SWPPP

C502

**NEW ROAD** 

.----911

0 0 0 0

BUILDING

CONSTRUCTION STAGING AREA

Des WA

@7

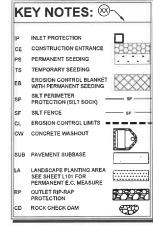
TR

(P)

SITE ACCES LOCATION

PUBLIC AND PRIVATE ROADWAYS, DRIVES, AND PARINIG LOTS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER PROLECTS SUBJECT TO IDEN'S CSGP SHALL REMOVE SEDIMENT FROM PUBLIC RIGHTS-OF-AWAY NOT EXCLUSIVE OF CONSTRUCTION TRAFFIC AT THE END OF EACH DAY DEFE THE CSGP BOFULIFIELENTS.





THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA:

NEW ROAD

TR

EX. R/W

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EROSION CONTROL MEASURE	*MAINTENANCE	INSTALLATION SEQUENCE			
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	PRIOR TO CLEARING AND GRADING			
PERMANENT SEEDING	WATER AS NEEDED	AFTER FRASH CRACKS			
INLET PROTECTION SEED, SOD & LANDSCAPE AROUND UNITS FINISHED	WEEKLY, AFTER STORY EVENTS AND AS NEEDED WATER AS NEEDED	AFTER EACH PALET IS PLACED AFTER SRIBSHED GRADING AROUND FINISHED UNITE			
REMOVAL OF INLET PROTECTION	N/A	AFTER ALL AREAS GRAINING TO THESE AREAS ARE STABILIZED			

\*- SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

\*\*FOR ADDITIONAL EROSION CONTROL INFORMATION AND NOTES, SEE SHEET C504 & C505.





GENERAL NOTES / LEGEND

"IT'S THE LAW" Know what's below. Call before you dig.

# FIFTH THIRD **BANK**

PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY TION, TOWNSHIP, RANGE SW 1/4, S29, T16N, R7E

PETERSON ARCHITECTURE

298 S. 10TH ST, STE, 500 NOBLESVILLE, IN 46060

PLAN DATE:		
	4/29/202	25
DESIGN AF	CHECK. AF	DRAWN. KG
PROJECT NO.	241100	

POST CONSTRUCTION SWPPP

### **EROSION CONTROL SEQUENCE & PROCEDURES**

\*THESE EROSION CONTROL MEASURES, SEQUENCES AND PROCEDURES SHALL APPLY TO ALL PHASES OF THE PROJECT, INCLUDING THE INITIAL / PRE-CONSTRUCTION PHASE, DURING CONSTRUCTION PHASE, AND POST CONSTRUCTION PHASE.

Contractor shall schedule a Pre-Construction Meeting with the CITY OF INDIANAPOLIS Stormwater Management Department (317-873-4544) / Local Governing Municipality Stormwater Management Department / County Surveyor's Office / County Soil and

- prior to any earth moving activities or construction.
   The following arrange.
- The following erosion control measures shall be in place prior to any land disturbing activities
- cascowing erosion comfort measures small be in prace pior to any saind disturbing activates. Create a stablished construction entrance, Install Temporary linkel Protection Measures on axisting storm inlets, install Temporary Sils Fence and for Sils Sock Protection as shown on approved plans, Install Temporary Construction Weathout as required. Install Temporary check dams and sediment basins as required.

- 3. Contractor shall contact the CITY OF INDIANAPCUS / Governing Municipality / MS4 / County Soil and Water Department for an initial Erosino Control Inspection to obtain full sign off on the Improvement Location Permit prior to earthwork activities.
  4. The contractor shall control waste, garbage, debris, westewater, and other substances on the site so they will not be transported from the site by the action of wind, storm water runoff, or other lorces. Proper disposal or management of all wastes and unused
- building material appropriate to the nature of the waste or material is required.

  5. Public or private roadways shall be kept clear of accumulated sediment. All sediment that is cleared must be returned to the likely
- point of origin or other suitable location. Clearing of large amounts of sediment shall not include flushing the area with water.

  Minimize the exposure of bare earth by limiting the work area to that necessary to perform the work, and by proper scheduling of
- All erosion and sediment control measures shall be inspected, cleaned, and maintained following each storm event.

  Wherever possible, maintain existing vegetative cover. Use non-vegetative material including mulch, erosion blankets, or stone to

- 8. Wherever possible, maintain existing vegetalive cover, Use non-vegetalive material inclusing musin, ensulus semmens, or source or control ensors from disturbed areas.
  9. A log shall be maintained of all inspections (weekly, and following storm events), maintenance and repair of erosion and seedlinear control measures. The log shall be maintained on ails and be available upon request to the owners representatives and the operating authorities having jurisdiction over the site.
  1.0. Once land disturbing activities begin, the following practices shall be provided:
  10.1. The Trained Individual responsible for the ensaines control maintenance for the contractor shall make weekly site inspections and after every rainfail event of 0.5 inches and greater.
  10.2. Possible drainage shall be maintained at all times. Contractor shall ensure the downstream drainage system and adjacent properties are not receiving sediment/debris laden runoff. If additional measures are necessary to protect adjacent properties are not receiving sediment/debris laden runoff. If additional measures are necessary to protect adjacent measures immediately.
- 10.3. Once earth disturbing activities begin, the adjacent roadways, adjacent drives and parking lots shall be continuously monitored for sediment tracking. If sediment is found, immediate action is required to clean the offsite areas and the current erosion control practices will need to be inspected and modified accordingly to prevent any further sediment from leaving the
- 10.4. Once the new storm structures and / or pipes are is in place, the appropriate type of inlet protection measures shall be

- placed.

  10.5. As surface types change, perimeter silt protection may need to be modified or replaced with a different perimeter protection.

  Update and replace perimeter silt protection as needed and required per these plans and alte conditions / restraints.

  10.6. Continued monitoring of all exposed areas shall be performed in order to verify the surrounding areas are not becoming sediment laden from construction activities onside.

  10.7. As the construction occurs, disturbed areas shall be stabilized as soon as they are at finished grade or will be left bare for more than 15 days.

  10.6. Provide final grade stabilization upon final grading of all areas including erosion control blanketing, seeding and sodding as appropriate.
- appropriate.

  10.9. Storm sewers that become sitted due to construction activities shall be cleaned with a jet vacuum and the material property
- 10.10. As the existing swales and ditches are removed or graded away, the temporary check dams, filter dams, and sediment basins may be removed (unless noted otherwise on the plans) along with their retained debris, pollutants, and sediment. All material shall be disposed of off site at an approved location.
- 11. After site preparation, demolition, clearing and mass earthwork phases are complete and prior to infrastructure, building, and fine
- After site preparation, generously, security site mass common process.
   The perimeter erosion control practices (sit fence, construction entrance, check filter dams, temp, sediment basins, etc.) shall be examined, cleaned, and reinstalled if damaged. Some practices may need to be relocated or changed for the proposed site layout or per construction phases. (See Erosion Control Plans).
   Relocate staging area if needed due to ale configuration.
   Install a Tempporty Concrete Westbutt if not one already.
   Once the new storm structures and / or pipes are is in place, the appropriate type of inlet protection measures shall be

- process.

  1.5. Continued monitoring of all exposed areas shall be performed in order to verify the surrounding areas are not becoming
- sediment laden from construction activities onsite.

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  11.8. Storm sewers that become silted due to construction activities shall be cleaned with a jet vacuumed and the material

- 11.8. Storm sewers that become sifted due to construction activities shall be cleaned with a jet vacuumed and the material properly disposed of.
  11.9. Temporary still fence to be installed around pond and maintained until open areas contributing to direct sheet flow to pond have been stabilized. Only once these open areas are properly and permanently stabilized can this temporary still fence be removed and disposed of properly.
  11.0.Minimize erosion from exposed areas by providing and maintaining temporary or permanent stabilization measures. Erosion control measures to protect exposed areas that be installed at the end of the day's work or within 24 hours of the completion of the earth disturbing activity, as applicable for the type of measure.
  11.1.A. Ald disturbed areas shall be exceed and/or stabilized upon completion of the earth disturbing activity.
  11.1.2.Rep-rap protection for final grades, detention ponds or storm sewers need established upon completion of final grading and storm sewer construction.
- 12. All graded areas (lawns, banks, mounds, etc.) with slopes equal to or sleeper than 6h:1v shall be stabilized with an erosion control blanket unless noted otherwise. All constructed swates channels shall be stabilized with an erosion control blanket to the top of the

- bentet unless noted otherwise. All constructed waters channels shall be stabilized with an erosion control blanket to the top of the bank. Soil stockples shall be needed and middled to minimize erosion.

  13. All other lawn and planting areas shall be seeded and stabilized with an anchored, crimped or tackfied middle and seed middled. It is also be pared shall be a featibized with a lamporary stone catabization shall be equalent to the proposed stone sub-base material. Adequate sub-base depths shall be materialned during construction, verified and restored, if necessary, prior to final paying. Stone stabilization shall be instabled per the paying specifications and details.

  15. Install pipe and grate linkt protection measures and pipe outlet protection as new pipes or pipe extensions are installed. Limit excavation to the work that can be performed that digy. Tronches shall be seeded and middhed as part of the backfill operation.

  16. Install inlet protection measures to prevent debris and sediment from entering storm system. Check weekly and after each alorn event for debris and sediment. Clear blockages as identified, Damaged or ineffective measures shall be replaced.

  17. Soil stockpins shall have appropriate perimeter protection to prevent sedimentation of the surrounding acres. Any dock pile that will not be disturbed for 15 days or longer shall be seeded and stabilized with much or reconson control blanket.

  18. All disturbed areas where work will potentially cease for 15 days or longer shall be seeded and stabilized immediately upon combelion of the activity.

- completion of the activity.

  19. Erosion and sediment control measures shall be maintained until the site is 95% stabilized.
- 20. Construction Phase BMP's shall remain in place and continue to be inspected until the entire site has reached the minimum

- 20. Construction Phase BMP's shall renain in place and continue to be irrepected until the entire site has rescribed the maintain vegetative ever, 70% established.
  21. Once construction is complete and prior to the contractor handing over the project to the owner, the contractor shall clean all debris, pollutants, and sediment from the storm severes.
  22. Once construction is complete and prior to the contractor handing over the project to the owner, the contractor shall clean all debris, pollutants, and sediment from the detertion port and remove the outflet chructure rock check dam. Contractor shall clean all debris, pollutants, and sediment from the detertion port and remove the outflet chructure rock check dam. Contractor to stabilize wet detertion ponds (if any) after clean out.
  23. Upon the site reaching the required minimum established vegetative cover; the IDEM CSGP Notice of Termination shall be submitted to the MS4 Department for approval prior to submitting it to IDEM if required for project.

# EROSION CONTROL MAINTENANCE SCHEDULE FROSION CONTROL MEASURE "MAINTENANCE INSTALLATION SEQUENCE SEED, SCO & LANDSCAPE AROUND WATER AS N

- SEE CHART, NOTES AND DETAILS FOR MAINTENANCE REQUIREMENTS

### MATERIAL HANDLING AND SPILL PREVENTION & RESPONSE PLAN (CSGP ITEM "B14" & "B15")

PURPOSE
The intention of this spill prevention, control and countermeasures (SPCC) is to establish the procedures and equipment required to prevent the discharge of oil and hazardous substances in quantities that violate applicable water quality standards, cause a sheen upon or discobration of the surface of adjacent waterways? watercourses? watertodies and navigable waters or adjoining sherefiles, or cause studge or emulsion to be deposited beneath the surface of the water or adjoining shorelines, the plan also establishes the activities required to misgate such discharges (i.e., countermeasures) should they occur.

<u>Definitions:</u>

Politaint: Means poliutant of any kind or in any form, including but not limited to sediment, paint, cleaning agents, concrete washout, pesticides, nutrients, trash, hydraulic fluids, fuel, oil, petroleum, fuel oil, sludge, oil refuse, and oil nixed with wastes other than dredged soil.

# <u>Discharge:</u> Includes but is not limited to, any spilling, leaking, pumping, pouring, emitting, emptying, or dumping.

Navigable waters:

Means all waters of the unites states that are connected with a navigable stream, lake, or sea. [Note: This definition is usually interprated to mean any wast-water (even normally dry wast or storm severy that eventually drains into a

navigable stream;
Pan review and amendments:
This plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and/or amendad, if necessary, whenever there is a change in the design of the ste, plan shall be reviewed and reduce stormwater pollution;

Select designated waste collection areas onsite.

Inform trash-nating contractors that you will accept only waterlight dumpsters for onsite use.

Inspect dumpsters for leaks and repair any dumpster that is not waterlight.

Provide an adequate number of containers with ids or covers that can be placed over the container to keep rain out or to

## PREDICTION OF POTENTIAL SPILLS 1. Nearest navigable water: White River

- 1. Nearest navigable water: White River 2. Possible spill sources (such as leaking fuel or oil, brake fluid, grease, antifixeze; construction trash and debris, biological agents found in trash and debris, lertilizers, household items including but not intritate to cleaning agents, chemicals, panif, rebrisides and pestidides.
  3. Groundwater contamination: This facility maintains no above ground or under ground storage tanks, therefore, it is felt that there is titled or no possibility of post construction groundwater contamination.

#### VEHICLE AND EQUIPMENT MAINTENANCE

DESCRIPTION AND PURPOSE
Prevent or reduce the confarmation of stormwater resulting from vehicle and equipment maintenance by running a "dry and dean side." The best option would be to perform maintenance activities at an offsite facility. If this option is not available then work chould be performed in designated areas only, while providing cover for materials stored outside, checking for leaks and spills, and confarining and cleaning up spills immediately.

SLITABLE APPLICATIONS
These procedures are suitable on all construction projects where on onsite yard area is necessary for storage and
antiferance of theory equipment and vehicles.

COLLECTION STORAGE AND DISPOSAL

\* Littering on the project site should be prohibited,
for converted forcing and the sound designed services.

LIMITATIONS
Onsie vehicle and equipment maintenance should only be used where it is impractical to send vehicles and equipment offsite for maintenance and repair. Sending vehicles/aquipment offsite should be done in conjunction with a stabilized construction entrance / exit outdoor vehicle or equipment maintenance is a potentially significant source of attornation position. Activities of the confidence of attornation position. Activities of the confidence of attornation position. that can contaminate stormwater include engine repair and service, changing or replacement of fluids, and outdoor equipment storage and parking (engine fluid leaks).

- IMPLEMENTATION

  If maintenance must occur onsite, use designated areas, located away from drainage courses. Dedicated maintenance areas should be protected from stormwater runon and runoff, and should be located at least 50 feet from downstream drainage facilities and watercourses.
- Drip pans or absorbent pads should be used during vehicle and equipment maintenance work that involves fluids, unless

- Orig parar or absorbent pads should be used during welnide and equipment maintenance work that involves fluids, unless the maintenance work is performed over on impermeable surface in a declarated maintenance area.

   Place a stockpile of spill cleanup materials where it will be readily accessible.

   All fixeling tucks and fueling areas are required to have spill ithis nandor use other spill protection devices.

   Use absorbent materials on small spills. Remove the absorbent materials promptly and dispose of property.

   Inspect onsite vehicles and equipment daily at startup for leaks, and spall remediately. Keep vehicles and equipment clear, do not allow excessive build-up of oil and greate.

   Segregate and recycle wastes, such as greases, used oil or oil filters, antiffeaze, cleaning solutions, automotive batteries, bydrautic and transmission fluids. Provide secondary containment and covers for these materials if stored onside.

   Train employees and subcontractors in proper maintenance and spill cleanup procedures.

   Train employees and subcontractors in proper maintenance and spill cleanup procedures.

   Train employees and subcontractors in proper maintenance and spill cleanup procedures.

   Train employees and subcontractors in proper maintenance to be lide for more than 1 hour. Property dispose of or device or equipment is planned to be lide for more than 1 hour. Property dispose of or device or equipment is planned to be lide for more than 1 hour. Property dispose of or recycle used batteries. Do not bury used tires. Repair leaks of fluids and oil minediately.
- Listed below is further information if you must perform vehicle or equipment maintenance onsite

- INSPECTION AND MAINTENANCE

  Inspect and verify that BMP's are in place prior to the commencement of associated activities, write activities associated with the BMP are under way, inspect weekly to varify continued BMP implementation,

  Keep ample supplies of spill cleanup materials onsite. Maintain waste fluid containers in teck proof condition,

  Vahidas and explainment should be inspected on each day of use. Leaks should be repeated immediately or the problem vehicle(s) or equipment should be removed from the project site. Inspect equipment for damaged hoses and leaky gaskets routinely. Repair or replace as needed.

### VEHICLE AND EQUIPMENT FUELING

CCRITION AND PURPOSE

(ice equipment fueling procedures and practices are designed to prevent fuel spills and leaks, and reduce or eliminal
amination of stormwater. This can be accomplished by using offsite fabilities, fueling in designated areas only, enclosir
vewing stored fuel, implementing spill controls, and training employees and subcontrators in proper fueling procedures.

LIMITATIONS
Onsite vehicles and equipment fueling should only be used where it is impractical to send vehicles and equipment offsite to fueling. Sending vehicles and equipment offsite about be done in conjunction with a stabilized construction entrance / exit.

1. Any personnel observing a spill will immediately instigate the following procedure:

2. Delignor Time may telephone.

- #MPLEMENTATION

  Use office fixeling stations as much as possible. These businesses are better equipped to handle fuel and spills properly.

  Performing this work office can also be economical by eliminating the need for a separate fueling area at a site.

  Discourage Topping-off of fuel tanks.

  Absorbert spill cleanup materials and spill kits should be available in fueling areas and on husing trucks, and should be discouraged of properly after use.

- \* Absolver typic calcifup materials and spin tols should be available in incoming alleas and on induling blooks, and should be disposed of properly after use.

   Drip parts or absorbert pools should be used during vehicle and equipment fixeling, unless the flueling is performed over an impermeable surface in a dedicated fixeling area.

   Use absorbert materials on small spills. Do not hose down or bury the spill. Remove the absorbert materials promptly and dispose of properly.

   Avoid mobile fixeling of mobile construction equipment around the site; rather, transport the equipment to designated

- Avoid mone usering v. investigation of the proper fueling and cleanup procedures.

  Train employees and subcontractors in proper fueling and cleanup procedures.

  Dedicated fueling areas should be protected from stormwater runon and runoff, and should be located at least 50 feet away from downstream drainage facilities and watercourses. Fueling must be performed on level-grade areas.

  As harms and dikes to prevent runon, runoff, and to contain spills.
- Protect fueling areas with berms and dikes to prevent runon, runoff, and to contain spills.
   Nozzles used in vehicle and equipment fueling should be equipped with an automatic shutoff to control drips. Fueling

INSPECTION AND MAINTENANCE
Vehicles and equipment should be inspected each day of use for leaks, Leaks should be repaired immediately or problem vehicles or equipment should be removed from the project site, Keep ample supplies of splil cleanup materials onside. Immediately clean up splils and properly dispose of contaminated soil and cleanup materials.

## THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND STORM WATER POLLUTION PREVENTION FOR THE PROJECT AREA:

LIST OF GUALIFICATIONS:

CONTRACTOR IS TO INFORM GREENFIELD OF WHOM THIS STORMWATER POLLUTION PREVENTION INDIVIDUAL IS

A THE PRE-CONSTRUCTION MEETING, PRIOR TO ANY EARTH DISTURBING & CONSTRUCTION ACTIVITIES.

Environmental Management.

Environmental Management.

Environmental Management.

THE INDIANA STORM WATER QUALITY MANUAL AND GREENFIELD STANDARDS AND DETAILS SHALL BE USED IN CONJUNCTION WITH THIS SET OF EROSION CONTROL PLANS.

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, erranging for regular disposal, and triating employees and subcontractors.

- SUITABLE APPLICATIONS
  The BMP's are suitable for construction sites where the following wastes are generated or stored: Solid waste generated from trees and shrubs removed during land clearing, demolition of existing structures (rubble), and
- building co
- Packing materials including wood, paper, and plastic
- Traceuring interiors including word people, and people.
   Scrap or surplus building materials including scrap metals, rubber, plastic, plass pieces and mesonry products.
   Damestic wastes including food containers such as beverage cans, coffee cups, paper bags, plastic wrappers, and
  - rs. ction wastes including brick, mortar, timber, steel and metal scraps, pipe and electrical cuttings, non-hazardous nit ports, styrofoam and other materials send transport and package construction materials.

- Provide an adequate number of containers with fide or covers that can be placed over the container to keep rain out or to prevent loss of wastes when it is windy.

  Plan for additional containers and more frequent pictups during the demolition phase of construction or as needed.

  Collect site firsh daily, especially during rainy and windy conditions.

  Remove this collid waste promptly since erosion and sediment control devices tend to collect fitter.

  Make sure that toxic flouid westes (used oils, solvents, and paints) and chemicals (acids, peaticides, additives, curing compounds) ere not disposed of in dumpsters designated for construction debts.

  Do not hose out dumpsters on the construction sket, Leave dumpster cleaning to the trash hauling contractor.

  Arrange for regular weste collection before containers overflow.

  Clean up immediately if a container does spill.

  Make sure that construction weste is collected, removed, and disposed of only at authorized disposal areas.

  Inspect the storm manhole with snout. Remove any floating debris on a regular basis and have sumps professionally cleaned once a year. "Caution should be noted—all sumps are deep and potentially dangerous. Extreme care and safety measures along with OSHA guidelines should be followed.

- To prevent clogging of the storm drainage system, litter and debris removal from drainage grates, trash rocks, and ditch
- Trash receptacles should be provided in the contractor's yard, field trailer areas, and at locations where workers
- Trash receptactes should be provided in the commence of the configuration of the project site should be collected and placed in waterlight dumpeters at least weekly, regardless of whether the litter was generated by the contractor, the public, or others, collected litter and debric should not be placed in or next to drain inlets, stormwater drainage systems, or watercourses.
   Dumpeters of autificient tizes and number should be provided to contrib the solid waste generated by the project.
   Full dumpeters should be removed from the project site and the contents should be disposed of by the trash hauling

- contractor.

  Construction debris and waste should be removed from the site biweekly or more frequently as neaded.

  Construction material visible to the public should be stored or stocked in an orderly manner.

  Stormwater runon should be prevented from contacting stored sold waste through the use of berms, dikes, or other temporary diversion structures or through the use of measures to elevate waste from site surfaces.

  Solid waste storage areas should be located at least 50 feet from drainage facilities and water courses and should not be located in areas prone to flooding or ponding.

#### - INSPECTION AND MAINTENANCE

- \*\*Inspect and verify that activity-based BMP's are in place prior to the commencement of associated ectivities. While activities escolated with the BMP are under way, inspect weekly to verify continued BMP implementation.

  \*\*Inspect BMP's subject to non-stormwater discharge daily while non-stormwater discharges occur.

  \*\*Inspect construction waste area (regularly.\*\*)

  \*\*Arrange for regular waste collection.

The contractor shall furnish and maintain santary facilities for this project for all personal. The facilities shall be cleaned as necessary and the waste materials shall be disposed of in accordance with the laws and regulations of the State of Indiana and locat/country requirements.

Concrete trucks will wash out at the designated area near the construction entrance. The contractor shall take core to insure that no waste materials are discharged into the waters of the state. Each contractor is responsible to provide litter control for trash generated by his cere. All trash including but not timited to, sold waste, paint care, of care, used old and filters whe contractor in accordance with the laws and regulations of the State of Indiana and local/county requirements. SPILL PREVENTION PLAN AND ACTION

If a release containing a hazardous substance in an amount equal to or in excess of a reporting quantity established under either 40 CFR 117 or 40 CFR 302 occurs during a 24-hout period, the contractor will immediately notify the permittee who shall then do the following: notify the National Response Center (KCR) (806-042-8802) and the Indiana State Emergency Management Agency (317-232-3986); as well as the local/county emergency management, the local governing fire department (91), and the municipality's stormwater department and or department of public works. Also, the engineer will prepare a revision to this document to identify measures to prevent the reoccurrence of such releases.

- a.) Dialing "0" from any telephone.
- a.) Dating 'T time may represent elements. It is a proper part of the proper part of t

- Time of observation of the spill

- Probable time of the spill
- · Present and anticipated mov

CLEANUP PARAMETERS:

- c.) Notify the local fire department phone: 9-1-1
  d.) Notify the County Soit and Water office.
  e.) Notify the MS4 department of the city's stormwater department.
  f.) Notify the local police department phone: 9-1-1
  g.) Notify who call police department phone: 9-1-1
  g.) Notify was recovery contractor, maintenance personnel or other contractual personnel as necessary for cleanup.
  h.) Coordinates and monifor deanup until the situation has been stabilized and all spills have been eliminated.
  i.) Cooperate with the IDEM-OER or procedures and reports involved with the event.
- CLEANUP PARAMETERS:

  I. The owner shall be continually kept Informed, maintain lists of qualified contractors and available vac-trucks, tank pumpers and other equipment readily accessible for clean up operations. In addition, a continually updated list of available absorbern farterials and clean-up supples should be kept on sits.

  2. All maintenance personnel will be made aware of fechniques for prevention of spills. They will be kept observed for the prevention of spills, and procedures outlined in this plan. They will be kept observed of current developments or new information on the prevention of spills and / or necessary alterations to this plan.

  3. When apills occur which could endanger human life and this becomes primary concern, the discharge of the life saving protection function will be carried out by the local police and fire departments.

  4. Absorbert materials, which are used in cleaning up spilled materials, will be disposed of in a manner subject to the approval of the indiane Department of Environmental Management.



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GENERAL NOTES / LEGEND

"IT'S THE LAW" Know what's below.

Call before you dig.

PROJECT

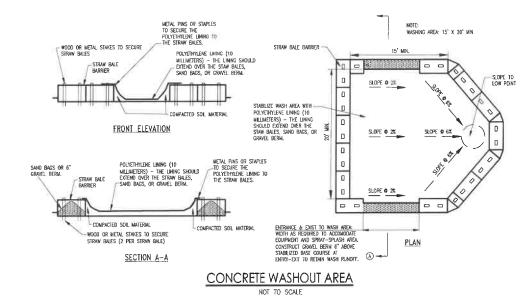
# FIFTH THIRD BANK

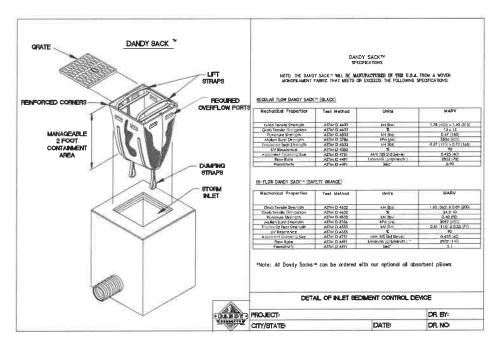
PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1, S29, T16N, R7E

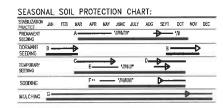
PETERSON ARCHITECTURE NOBLESVILLE, IN 46060

4/29/2025 CHÉCK: AF PROJECT NO 2411004 SHEET NAME

SWPPP SEQUENCING & SOILS INFORMATION







- A = KENTUCKY BLUEGRASS 40 LBS/ACRE; CREEPING RED FESCUE 40 LBS/ACRE; PLUS 2 TONS STRAW MULCH/ACRE; OR ADD ANNUAL RYEGRASS 20 LBS/ACRE.
- B = KENTUCKY BLUEGRASS 60 LBS/ACRE; CREEPING RED FESCUE 60 LBS/ACRE; PLUS 2 TONS STRAW MULCH/ACRE, OR ADD ANNUAL RYEGRASS 30 LBS/ACRE.
- C = SPRING DATS 3 BUSHEL/ACRE
- D = WHEAT DR RYE 2 BUSHEL/ACRE
- E = ANNUAL RYEGRASS 40 LBS/ACRE
- F = 500
- G = STRAW MULCH 2 TONS/ACRE
- \*/I/\* IRRIGATION NEEDED DURING JUNE, JULY, AND/OR SEPTEMBER
- \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

## SEASONAL SOIL SEEDING PROTECTION CHART







GENERAL NOTES / LEGEND.

"IT'S THE LAW" Know what's below. Call before you dig. 2 WORKING DAYS BEFORE YOU DIG.

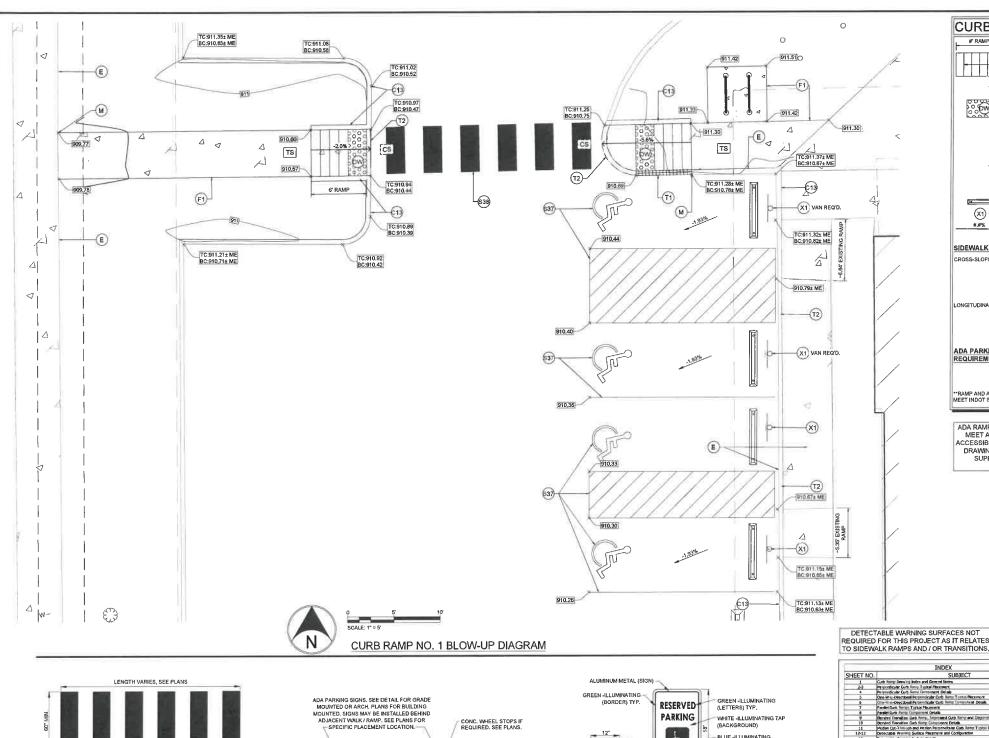
# FIFTH THIRD **BANK**

PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 4, S29, T16N, R7E

PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

4/29/2025 CHECK DRAWN KG 2411004 SHEET NAME **EROSION CONTROL** DETAILS



CURB RAMP & ADA LEGEND: ADA / CURB RAMP. "#" INDICATES RAMP LENGTH "#" INDICATES THE CORRESPONDING INDOT RAMI STANDARD DRAWINGS - E 604-SWCR- ## DETECTABLE WARNING SURFACE. TS TURNING SPACE, SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2,00%. CS CLEAR SPACE, REFER TO INDOT STANDARD DRAWINGS. FLARED SIDE, SEE INDOT STANDARD DRAWINGS, MAXIMUM 10.00% SLOPE. HANDICAP PARKING SPACE. SLOPE IN ANY DIRECTION FOR PARKING SPACE SHALL NOT EXCEED 2.00%. SEE DETAILS FOR PAVEMENT MARVINGS VEHICLE PARKING STOP AS REQUIRED FOR SITE. (X1) --- HANDICAP PARKING SIGN AS REQUIRED. GRADE SLOPE WITH SLOPE PERCENT. SIDEWALK AND RAMP SLOPE REQUIREMENTS: CROSS-SLOPE: DESIRABLE = 1,50% - DESIGN = 1.50% TO 1.80% - MAXIMUM ALLOWED = 2.00% NGITUDINAL / RAMP / RUNNING SLOPE - DESIRABLE = 7.50% - DESIGN = 7.50% TO 8.00% MAXIMUM ALLOWED = 8.33% ADA PARKING STALL AND ACCESSIBLE SPACE REQUIREMENTS: - SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2.00 "RAMP AND ADA PARKING STALL DESIGN AND CONSTRUCTION SHALL MEET INDOT SPECIFICATIONS, PROWAG, AND ADA STANDARDS.

ADA RAMPS, CROSSWALKS AND PARKING STALLS SHALL MEET ADA STANDARDS AND PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), INDOT STANDARD DRAWINGS AND SPECIFICATIONS SHALL BE USED AS SUPPLEMENTAL DESIGN INFORMATION AND IN CONJUNCTION WITH THESE PLANS.

# CURB RAMP & ADA

**KEYNOTES:** KEYNOTE

CONCRETE PAVEMENT (SEE SITE PLANS FOR TYPE

FRITZ

14020 MISSISSINEWA DRIVE

CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717

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SIONS AND ISSUES

GENERAL NOTES / LEGEND

"IT'S THE

LAW"

Know what's below.

Call before you dig.

2 WORKING DAYS BEFORE YOU DIS

FIFTH THIRD

**BANK** 

1993 N. STATE ST.

HANCOCK COUNTY

SW 1/4, S29, T16N, R7E

GREENFIELD, INDIANA 46140

PROJECT LOCATION

DATE

CONCRETE 6 INCH "STRAIGHT" CURB, C13 CONCRETE CHAIRBACK CURB AND GUTTER

CONCRETE ROLL CURB

DEPRESSED CURB AND GUTTER ASPHALT PAVEMENT (SEE SITE PLANS FOR TYPE). (C#RW) INDICATES CORRESPONDING CURB SHALL ADMERE TO THE CORRESPONDING MUNICIPALITY RIGHT-OF-MAY DETAIL AND STANDARDS FOR THAT CURB TYPE, AS APPLICABLE.

EXISTING SIDEWALK / CURB / PAVEMENT TO REMAIN CONCRETE SIDEWALK

INTEGRAL (MONOLITHIC) CURB AND WALK F#RW) INDICATES CORRESPONDING SIDEWALK OR INTEGRAL CURB AND WALK SHALL ADHERE TO THE CORRESPONDING MUNICIPALITY RIGHT-OF-WAY DETAIL AND STANDARDS, IF APPLICABLE.

MATCH EXISTING
\*CURB AND SIDEWALK CONSTRUCTION SHALL M
AND CONNECT INTO EXISTING CURB AND WALK AND CONNECT INTO EXISTING CURS AND WALK AT EXISTING JOINTS, FIELD ADJUST AS NECESSARY FOR THIS WALK BLEND TRANSITION, CROSS-SLOPE REQUIREMENTS SHALL BE MANTAINED. THE LONGITUDINAL / RUNNING SLOPE FOR THIS WALK BLEND TRANSITION SHALL ENTHER MATTCH THE EXISTING ROADWAY SLOPE AND JOR SHALL HAVE AWAMMAN SLOPE OF 5050%, FTYE WALK BLEND TRANSITION EXCEEDS TWO (2) JOINT PARELS OR IT, LIMEAR FEET, CONTROL TRANSITION EXCEEDS TWO (2) JOINT PARELS OR IT.

ADA BLUE PAVEMENT STRIPING, TYP. CROSSWALK PAVEMENT STRIPING (MARKINGS, S. DETAILS, CROSSWALK PAVEMENT MARKINGS TO MEET INDOT SPECIFICATIONS AND THE INDIANA MUTCD MANUAL.

638

CURB TAPER. FLUSH CURB FOR CURB RAMP.

GRADING LEGEND:

FLOW LINE, SWALE / DITCH --- FLOW DIRECTIONAL ARROW --- GRADE BREAK LINE

--- GRADING CONSTRUCTION LIMITS EXISTING CONTOURS.
"###" INDICATES ELEVATION. PROPOSED CONTOURS.
"###" INDICATES ELEVATION.

(XXX.XX) SPOT ELEVATIONS (1:XXX.XX) FLOW LINE ELEVATION (XXX.XX H.P.) HIGH POINT ELEVATION (XXX,XX L,P.) LOW POINT ELEVATION

TC:XXX.XX TOP CURB ELEVATION BOTTOM CURB ELEVATION TW:XXX.XX TOP WALL ELEVATION BOTTOM WALL ELEVATION

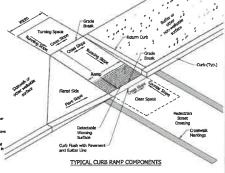
(XXX,XX RIM) CASTING RIM ELEVATION ME MATCH EXISTING GRADE /



t. Ramp or Blanded Transition, A ramp or blanded transition shall be used to lower or raise the sidewalk to connect with the street or highway

se noted, minimum width of a ramp, blanded transition, or turning space, ex

15. Drainage intest should be located uphill from a cust rame to preven

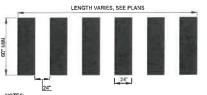


PETERSON ARCHITECTURE 298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

> 4/29/2025 CHECK DRAWN KG

2411004 SHEET NAME CURB RAMP & ADA **BLOW-UP DIAGRAMS** 

C601

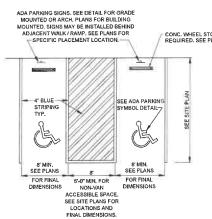


NOTES: CROSS-WALK MARKINGS / STRIPING SHALL BE PERFORMED PLASTIC OR THERMOPLASTIC, COLOR WHITE,

FOR FURTHER INFORMATION REFER TO THE INDIANA MUTCO MANUAL AND INDOT STANDARD DRAWINGS AND SPECIFICATIONS, ALL PAVEMENT MARKINGS AND STRIPING SHALL MEET INDOT SPECIFICATIONS. CROSSWALK PAVEMENT MARKINGS

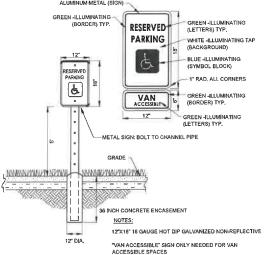


"ADA" PARKING SYMBOL DETAIL NOT TO SCALE



TIES:
ALL PAVEMENT MARKINGS AND STRIPING SHALL BE BLUE PAINT
AND MEETING ADA STANDARDS AND SPECIFICATIONS.
SLOPES IN ANY DIRECTION MAY NOT EXCEED 2.00%.

ADA PARKING STALLS DETAIL



ADA PARKING SIGN DETAIL

TO SIDEWALK RAMPS AND / OR TRANSITIONS.

### GENERAL NOTES:

Clear Space. A clear space shall be provided beyond the bottom grade break of a curb ramp whot
pscaller vehicular travel path. The clear space shall have a minimum clear dimension of 4 ft.x 4 ft.

Detectable Warning Surface, A detectable warning surface shall consist of truncated domest and be placed at each street, highway, or militized crossing. The desectable warning surface shall extend a minimum of 2 ft at the detection of patientism travel and be placed the entire width of a many, blanded transition, or brains stated.

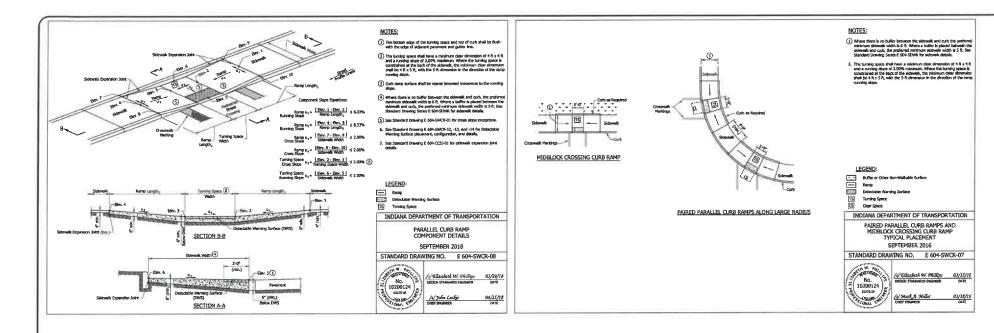
0. Grade Break. A grade break at the top and bettom of a rismo, blended transition, or terring space shall be perpendicular to the survivoy stope. Grade breaks and the empty, bended transition price or described warring survices. Grade breaks creal be failth. Notical discontinuities shall not be greater than 2.1°C, in where a documentary is present to may 1.2°C. In the break deal as the price of survivors and the price of the survivors of the price of the survivors of the provided with a store of states from the price of the survivors of the provided with a store of states from 1.2°C.

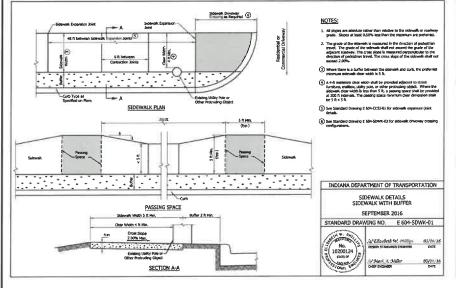
Counter Stope. A counter stope is the cross stope of the guitter or street adjacent the running stope of the Standard Drawing E 604-SWCR-14 for counter stope distrills.

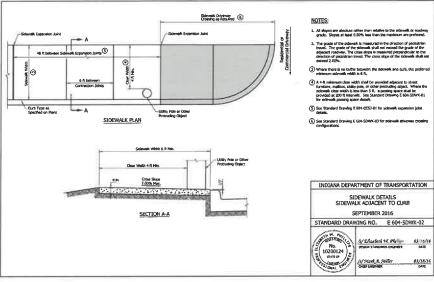
INDIANA DEPARTMENT OF TRANSPORTATION CURB RAMP DRAWING INDEX AND GENERAL NOTES SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-01

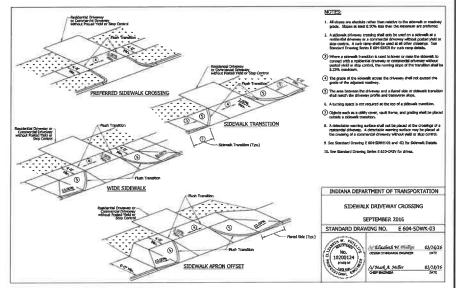
/s/ John Ceckje STONAL EN

NOT TO SCALE

















PROJECT:

# FIFTH THIRD BANK

PROJECT LOCATION.
1993 N. STATE ST.
GREENFIELD, INDIANA 46140
HANCOCK COUNTY
SECTION, TOWNSHIP, RANGE
SW 1/4, S29, T16N, R7E

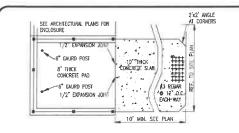
PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060



C602

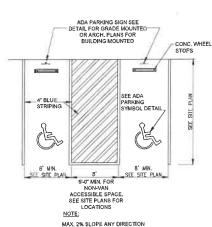
PREVITED BY ARROW Plaz PREVITER GAZZOR 12-40 PM PAUL BUEED D DA 00 X 22.00 NICHES SHEET SIZE, SCALE, ANSI PAUL BUEED D DA 00 X 22.00 NICHES



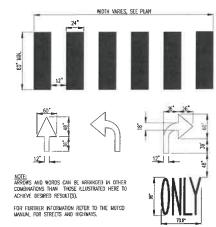
SEE ARCHITECTURAL PLAN FOR ENCLOSURE FOR SLOPES SEE GRADING PLAN **ШЩЖ**, ELEVATION TO WATCH EDGE OF PAVEMENT CONC. SLAB GRADES, REF. GRADING PLAN 8" CONC. SLAB 10" CONC. SLAB

NOTE: REFER TO PAVEMENT SPECIFICATIONS FOR CONCRETE REQUIREMENTS

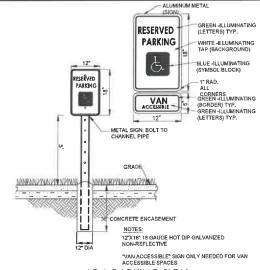
TRASH PAD (TYP)



## ADA PARKING STALLS NOT TO SCALE

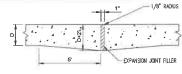


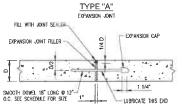
PAVEMENT MARKINGS

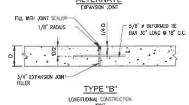


## ADA PARKING SIGN NOT TO SCALE



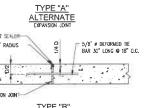




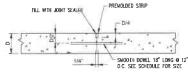




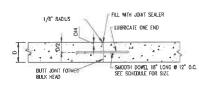




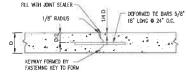




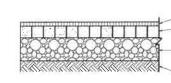
TYPE "C" SAWED JOINT (LONGITUDINAL OR TRANSVERSE)



TYPE "D"
TRANSVERSE CONSTRUCTION JOINT

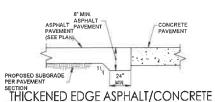


TYPE "E" TIED TRANSVERSE CONSTRUCTION JOIN

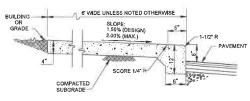


**CURB JOINT DETAIL** 

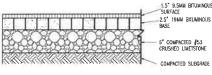
TRANSVERSE CONTRACTION JOINTS AT 10' C.C.



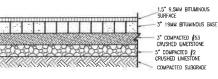
PAVEMENT JOINT DETAIL



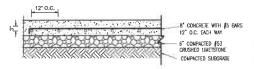
CONCRETE CURB AND WALK



LIGHT DUTY ASPHALT



HEAVY DUTY ASPHALT



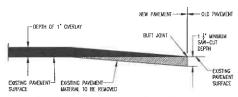
CONCRETE PAVEMENT - TYPE 1

NOTES:

1. SUBGRADE SHALL BE PREPARED PER INDOT STANDARD SPECIFICATIONS SECTION 207, TYPE II.

2. ADD TACK COAT BETWEEN ASPIRALT LIFTS. CONTRACTOR SHALL COORDINATE AND VERIFY PAVEMENT SECTIONS SHOWN W/ DWNER'S GEOTECHNICAL CONSULTANT.

## TYPICAL PAVEMENT SECTION DETAILS NOT TO SCALE



NOTE: TO BE MILLED AT EACH END OF PAVEMENT OVERLAY

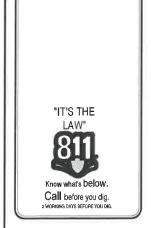
# CROSS SECTION OF BUTT JOINT







GENERAL NOTES / LEGEND



FIFTH THIRD **BANK** 

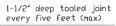
PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 1/4, S29, T16N, R7E

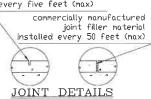
PETERSON ARCHITECTURE 298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

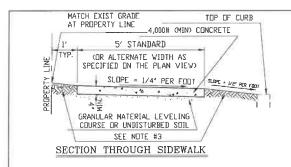
4/29/2025 CHECK DRAWN. AF KG 2411004 SHEET NAME **GENERAL DETAILS** 

#### CONSTRUCTION SPECIFICATIONS

- Concrete Material shall meet the requirements of Section 702 of the Indiana Department of Transportation Standard Specifications.
- INDOT Standard Specifications Section 501.10 Limitations of Mixing shall govern the placement of concrete in cold weather.
- Install topsoil, grass seed and mulch in all lawn areas disturbed by construction.







## CITY OF GREENFIELD

STANDARD DETAIL
STANDARD SIDEWALK DETAIL
Dwn.By D.Rodger Origin Date: 12/29/98
Des. No: R-111-01 Rev. Date: 12/10/07

install 4" min.
topsoil

R=2"
6"

SECTION THROUGH CURB

CITY OF GREENFIELD

| STANDARD DETAIL
| STRAIGHT CONCRETE CURB
| Dwn. By: 0. Rodgers | Origin Date: 12/29/98 |
| Des. No: R-112-01 Rev. Date: 12/10/07

### CONSTRUCTION SPECIFICATIONS

- Concrete Material shall meet the requirements of Section 702 of the Indiana Department of Transportation Standard Specifications.
- INDOT Standard Specifications Section 501.10 <u>Limitations of Mixing</u> shall govern the placement of concrete in cold weather.
- Install topsoil, grass seed and mulch in all lawn areas disturbed by construction.
- Sawcut existing pavement to a neat edge on any line where new construction meets existing pavement.
- Provide tooled or sawn joints in concrete at 10 foot intervals.



14020 MISSISSINEWA DRIVE CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717 www.Fritz-Eng.com



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ENERAL NOTES / LEGEND

'IT'S THE LAW'

Know what's below.

Call before you dig.
2 WORKING DAYS BEFORE YOU DIG.

PROJEC

# FIFTH THIRD BANK

PROJECT LOCATION.
1993 N. STATE ST.
GREENFIELD, INDIANA 46140
HANCOCK COUNTY
SECTION, TOWNSHIP, RANGE
SW 1/4, S29, T16N, R7E

### PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

PLAN DATE

4/29/2025

DESIGN CHECK AF KG

PROJECT NO.

2411004

SHEET NAME

GREENFIELD GENERAL DETAILS

C802

PRINTED BY: Ashbas Priz.
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### PAVEMENT

#### A. SCOPE OF WORK

- The work required under this section includes all exterior concrete and bituminous paving and related items necessary to complete the work indicated on drawings and described in the specifications, including but not filmited to:
  - · All drives, parking areas within contract limits

#### B. MATERIALS

- Concrete: Concrete shall be ready-mixed and shall be a mix of proportioned fine and coarse
  aggregates with Profiland cement and water. Minimum cement content shall be 6 bags per cubic yard
  of concrete and maximum water content shall be 5.5 U.S. gallone per seak of cement, including
  moisture in the aggregate. Shamp for normal weight concrete shall be a maximum of 4 inches and a
  minimum of 2 inches. The shamp of machine pleaded connecte shall be no test shall -114 inches or more
  than 3 inches. Standard test ASTM C-143 shall be used to measure shump. Minimum compressive
  strength of concrete at 26 days shall be 4000 ppt. All exterior concrete shall have air arrainment of 15%
  to 8% by volume per ASTM C-260. Re-tempering of delivered concrete shall not be permitted. Concrete
  shall be composed of:

- Portland cement: conforming to ASTM C-150, Type IA or type IIIA.
   Aggregates: conforming to ASTM C-33.
   Water: Shall be clear and free from injurious amounts of oils, acids, alkelics organic materials or
- Pre-molded Joint Filler: Shall be non-extruding type meeting ASTM D-544, except that pre-molded joint filler used in concrete walk construction may be either non-extruding or resilient.
- Bituminous Pavement Materials: All materials proposed for the construction of bituminous pavements shall comply with the Indiana Department of Transportation Standard Specifications, latest revisions.
- If a certain type of aggregate is specified and labeled per the plans and/or details, than that
  aggregate shall meet and be in accordance with the INDOT Standard Specifications.
- aggregate shall meet and be in accordance with the INDOT Standard Specifications.

  If the aggregate is not specified or labeled than it shall be crushed stone or gravel meeting the
  following requirements. Crushed gravel shall be a minimum of 35% crushed material. Fines shall
  be timited to a maximum of 3% of the lotal. Material shall be free from acxcess of flat, elengated,
  thinly laministed soft or disnetgrated pieces, and shall be free from fragments coated with dist.
  Compacted aggregate shall have a gradation as presented below.

1-1/2"	100
1"	80-100
3/4"	70-90
1/2"	55-80
#4	35-60
#8	25-50
#30	2-30
#200	E 10

#### C. APPLICATION

- Grading: Do any necessary grading in addition to that performed in accordance with EARTHWORK Section, to bring sub-grades, after final compaction, to the required grades and sections for site
- ration of Sub-grade: Remove spongy and otherwise unsuitable material and replace with stable ial. No traffic shall be allowed on prepared sub-grade prior to paving.
- 3. Compaction of Sub-grade: Refer to Section 207 of the INDOT Standard Specification Manual.
- Utility Structures: Check for correct elevation of all manhole covers, inlets, valve boxes and similal structures located within areas to be paved and mark, or have made any necessary adjustments to such structures.

#### 5. Placing Concrete:

- Sub-grade: Place concrete only on a moist, compacted sub-grade of base free from loose material. No concrete shall be placed on a muddy or frozen subgrade.
   Forms: All forms shall be free from ware, jible notugh to prevent leakage and substantial enough to maintain their shape and position without springing or settling when concrete is placed. Forms shall be clean and smooth immediately before concreting.
   Placing Concrete: Concrete shall be deposited so as to require as title handling as practicable. When concrete is to be placed at an atmospheric temperature of 35 degrees. (For less, the Indiana Department of Transportation Standard Specifications, Inter revision shall be followed.

### 6 Concrete Curb and Gutter

- a. Expansion Joints: Shall be 1/2 inch thick pre-moulded at ends of all returns and a maximum spacing
- b. Contraction Joints: Unless otherwise provided, contraction joints shall be joints spaced 10 feet on
- center.

  C. Finish: Tamp and spread concrete as soon as placed, and fill any honeycombed places. Finish square corners to 1/4 inch radius or as otherwise required.

- a. Slopes: Provide 1/4 inch per foot cross slope, Contractor shall make field adjustments in slopes at walk intersections as necessary to provide proper drainage.
  b. Dimensions: Walks and sleps shall be one course construction and of widths and thickness shown
- on the drawings.

  c. Firish: Spread concrete and trowel with a steel trowel to a hard dense surface after surface water has disappeared. Apply medium broom finish and sortile control joints at 6 foot spacing. Provide 1/2 inch expansion joints where sidewalks intersect and at a maximum spacing of 48 feet along walks.
- 8 Curing Congrete: Except as otherwise specified, cure all congrete by one of the methods described in
- 10. Compacted Aggregate Sub-base: The thickness shown on the drawings is the minimum thickness of the fully compacted sub-base: Compaction shall be accomplished by rolling with a smooth wheeled roller weighing 8 to 10 ons. Compact to 95% compaction using Standard Testing Procedures. Along curbs, headers and wells and at all places not accessible to the roller, the aggregate material shall be tamped with mechanical tampers.

#### **EARTHWORK**

#### A. SCOPE OF WORK

- Extent: The work required under this section consists of all excavating, filling, rough grading and related items necessary to complete the work indicated on the drawings and described in the specifications. The Confractor shall notify in writing the Owners and the Engineer of any changes, errors, or omissions found on the plans or in the field, before work is started or resumed.
- a. In general, the items of work to be performed under this section shall include clearing and grubbing, removal of trees and stumps (where required), protection of trees to remain, stripping and storage of topsoil, fill, compaction and rough grading of entire sells as indicated on the drawings.

  b. Excavated material that is suitable may be used for fill. All unsuitable material and all surplus excavated material to required shall be removed from the site by the Contractor. The location of dump and length of
- I sous snall be the Contractor's responsibility.

  Provide and place any additional full material from off the site as may be necessary to produce the grades required. Fill blotained from offsite shall be of kind and quality as specified herein, and as approved by the Engineer & Owner.
- 2. The Contractor shall accept the site as he finds it and shall remove all trash, rubbish and debris from the site prior to starting excavation.
- 3. Work not included: The following items of related work are specified and included in other sections of these
- Excavation, grading and backfilling for utility lines.
   Storm drainage systems.
   Sanitary sewer systems.
   Water supply systems.
   Drives and paving.

1. Maintain carefully all bench marks monuments and other reference points, If disturbed or destroyed, replace as

- Remove all trees and stumps from area to be occupied by road and surfaced areas. Removal of trees cutside
  these areas shall only be done as noted on drawings or approved by the Owner.
- 2. All brush, stumps, wood and other refuse from the trees shall be removed from the site or burned with proper

#### D. PROTECTION OF TREES

General Protection: the Contractor shall be responsible for the protection of tops, trunks and roots of existing trees on the project site that are to remain. Existing trees subject to construction damage shall be boxed, fenced or otherwise protected before any work is started; do not stockpile within branch spread. Remove interfering branches without injury to trunks and cover acers with tree paint.

#### E. STRIPPING OF TOPSOIL

Remove topsoil to a depth of 5 inches (or as indicated by Owner's Geotechnical Engineer) from the areas to be occupied by roade, walks, bulldings, and parking areas. Pile and store topsoil at a location where it will not interfere with construction operations. To pilo all half be reasonably free from subsoil, debris and stores larger than 2 inches.

- 1. Rules and regulations governing the respective utilities shall be observed in executing all work under this section.
- It shall be the responsibility of each contractor to verify all existing utilities and conditions pertaining to his phase.
   In work. It shall be the contractor's responsibility to contact the owners of the various utilities before work is started. The contractor shall notify in writing the contents or the engineers of any changes, errors or omissions foun on these plans, and/or in the field before work is started or resumes.
- Where active utilities are encountered but not shown on the drawings, the Contractor shall notify the Utility Company, Owner and Engineer prior to proceeding with any work. An appropriate course of action shall be agreed upon by the Utility Company, Owner and Engineer prior to work commencing.
- Inactive and abandoned utilities encountered in excavating and grading operations shall be reported to the
  Engineer, They shall be removed, plugged or capped as directed by the Engineer and/or Utility Company.

### G. SITE GRADING

- Grades: Perform all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawings. Undercut open areas 4" for topsoil.
- Rough grading: the tolerance for paved areas shall not exceed 0.10 feet above established subgrade. All other areas shall not exceed 0.10 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade. All open areas shall be graded a minimum of 0.5% and a maximum of 3.11 vid dope.
- 3. Sub-grade shall be proof rolled with suitable equipment and all spongy and otherwise unsuitable material shall be removed and replaced with suitable material. Contractor shall coordinate the proof roll procedure with the agency having jurisdiction to ensure proper representation is in attendance for the test.
- Sub-grade for building areas shall be compacted to a minimum compaction of 95% Modified Proctor Density or per the Archetectual/Structural Construction Plans for the corresponding building area. The Archetectual/Structural plans shall govern.
- 5. Sub-grade for streets and paved areas See PAVEMENT specifications.
- 6, See PAVEMENT section for additional information.
- 7. All fill material shall be formed from soil free of deleterious material. Prior to placement of fill, a sample of the proposed material shall be submitted to the Owner's Geotechnical Engineer for approval. The fill material shall be placed in layers not to exceed 8" in loose thickness and shall be spread and compacted at the proper moisture
- 8. All fill material in areas outside of building and pavement areas shall be compacted lightly with each lift and protected from erosion. Areas of building construction shall have suitable fill imaterial placed and compacted in accordance with the Soils Engineer's report and per sub-section described above in this Section.
- The Contractor shall verify all earthwork quantities prior to the start of construction. The Contractor shall notify the Owner and Engineer in writing if excess or shortage of earth quantities is encountered and verify requirements for stockpiling, removal or importing earth. Owner and Engineer hereby reserve the right to allow minor adjustments in proposed grades to reduce an earth quantity disparity.

### H. SEEDING PREPARATION

- 1. Contractor shall resolve any surface or subsurface drainage problems and construct permanent erosion control
- 2. Remove all rocks, roots or other materials that may interfere with seedbed preparation
- 3. Perform the major filling, shaping and smoothing of gullied or severely eroded areas. 4. Have soit tested to check pH and fertility levels. Apply time at rate specified in seeding specifications on the plans.
- 5. Work all time and fertilizer into the soil to a depth of 2-3 inches with a small disk, harrow or rake operated across the
- Firm the soil bed where possible. Do not over pack the soil to ensure compacting does not restrict water and root penetration into the soil.

### STORM SEWER SYSTEMS

Storm construction procedures, meterials, testing, details and specifications shall be in accordance with CITY OF GREENFIELD SPECIFICATIONS, STANDARDS AND DETAILS, Please refer to these standards, specifications, and details for all storm sewer system

### SANITARY SEWER SYSTEMS

Sanitary construction procedures, materials, testing, details and specifications shall be in accordance with CITY OF GREENFIELD SANITARY SPECIFICATIONS AND DETAILS. Please refer to these standards, specifications, and details for all sanitary sewer system construction.

## WATER & FIRE SUPPRESSION SYSTEMS

Water construction procedures, materials, testing, details and specifications shall be in accordance with CITY OF GREENFIELD UTILITIES. Please refer to SHEET C902 and these standards, specifications, and details for all water system constructions.

Fire Suppression systems construction procedures, materials, testing, details and specifications shall be in accordance with CITY OF GREENFIELD UTILITIES. Please refer to these standards, specifications, and details for all fire suppression system construction.

# **DEWATERING AND CONTROL OF SURFACE**

Whenever groundwater is encountered, the CONTRACTOR shall make every practical effort to secure a dry trench bottom before laying pipe. The CONTRACTOR shall provide, install and operate sufficient trenches, sumps, pumps, hose, piping, well points, etc. to depress and maintain the groundwater level below the base of the exception. If the CONTRACTOR is unable to remove the standing water in the trench, the CONTRACTOR shall over-excavate the proposed bottom grade of the sewer bedding, and place not less than three (3) inches of No, 8 crushed stone in the over-excavated area.

The CONTRACTOR shall keep the site free of surface water at all times and shall inetall drainage ditches, dikes, pumps, and perform other work necessary to divert or remove rainfall and other accumulation of surface water from excursations. The diversion and removal of surface and/or groundwater shall be performed in a manner which will prevent the accumulation of water within the construction area. UNDER NO CIRCUMSTANCES SHALL SURFACE WATER AND/OR GROUNDWATER BE DISCHARGED TO, DISPOSED OF OR ALLOWED TO FLOW INTO AN ACTIVE SANITARY SEWER SYSTEM.



14020 MISSISSINEWA DRIVE CARMEL, INDIANA 46033 P: 317.324.8695 F: 317.324.8717 www.Fritz-Eng.com



DATE BY

GENERAL NOTES / LEGEND

"IT'S THE LAW"

Know what's below Call before you dig.

# FIFTH THIRD **BANK**

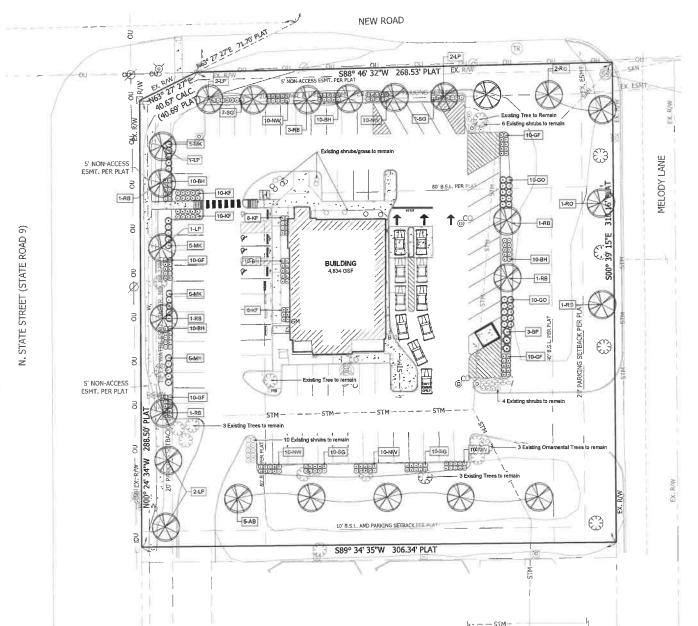
PROJECT LOCATION 1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SECTION, TOWNSHIP, RANGE. SW 4, S29, T16N, R7E

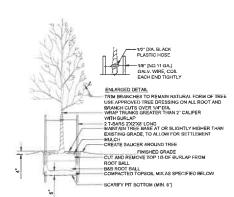
### PETERSON ARCHITECTURE

298 S. 10TH ST. STE. 500 NOBLESVILLE, IN 46060

PLAN DATE 4/29/2025 CHECK: AF 2411004 SHEET NAME

> GENERAL **SPECIFICATIONS**





SPECIFICATIONS.

1. FORSOLI, MIX. TOP 8 INCHES OF SOIL TO BE A 60% MIX OF NATIVE SOIL, AND GENERAL PLANTING MIX.

2. DO NOT DIMAGE MAN ROOTS ON DESTROY ROOT BALL WHEN INSTALLING TREE STAME.

8. REVIOUS TREE KINSS AND STAMES TIME YEAR SHEET INSTALLING.

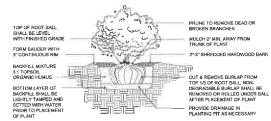
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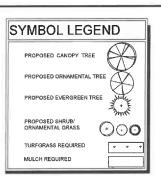
8. REVIOUS TREE MIXES AND STAME ON PHYNINGE DE YOUR SHEET INSTALLING.

8. ALL TREES MIXE BE KLAGGED AND APPRICAGED FOR CONSULTANT WITHIN 14 DAYS AFTER TENDER CLIC.

### **DECIDUOUS TREE PLANTING DETAIL**



## SHRUB PLANTING DETAIL



PLANT MATERIAL SHALL BE SELECTED AND INSTALLED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

1 HANDSCAPE MATERIALS SELECTED SHALL BE APPROPRIATE TO LOCAL GROWING AND CLIMATE

DENSELY FOLIATED WHEN IN LEAF, FREE OF DISEASE AND INSECTS EGGS OR LARVAE AND SHALL HAVE WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL BE FREE FROM DAMAGE OR CONDITIONS THAT WOULD

3. ALL PLANTING MATERIAL SHALL BE IN ACCORDANCE WITH THE MOST CURRENT PUBLICATION OF THE

ORNAMENTAL TREES: ALL ORNAMENTAL TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM CALIPER OF ONE AND ONE-HALF (1.5) INCHES WHEN MEASURED FROM SIX (6) INCHES ABOVE GROUND

SHRUBBERY: ALL DECIDUOUS AND EVERGREEN SHRUBS AT THE TIME OF PLANTING SHALL HAVE A

AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.

STREET TREES AND SHADE TREES: ALL STREET TREES AND SHADE TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM CALIFER OF TWO AND ONE-HALF (2.5) INCHES WHEN MEASURED FROM SIX (6) INCHES ABOVE GROUND LEVEL.

EVERGREEN TREES: ALL EVERGREEN TREES AT THE TIME OF PLANTING SHALL HAVE A MINIMUM HEIGHT OF

GROUND COVER/ORNAMENTAL GRASS: ALL GROUND COVER/ORNAMENTAL GRASS AT THE TIME OF PLANTING SHALL HAVE A MINIMUM SIZE OF ONE [1] GALLON, UNLESS OTHERWISE NOTED ON THE

4. IRRIGATION SYSTEMS SHALL NOT BE INSTALLED IN THE CITY OWNED RIGHT-OF-WAY WITHOUT APPROVAL BY THE BOARD OF PUBLIC WORKS. THE CITY DOES NOT ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED

TO AN UNPERMITTED IRRIGATION SYSTEM THAT IS CAUSED BY WORK BEING PERFORMED IN THESE AREAS.

5. IT SHALL BE THE RESPONSIBILITY OF THE OWNERS AND THEIR AGENTS TO INSURE PROPER MAINTENANCE OF ALL TREES, SHRUBBERY AND OTHER LANDSCAPING APPROVED AS PART OF THE DEVELOPMENT PLAN/ADLS PLANS. THIS SHOULD CONSIST OF WATERING, FERTILIZING, PROPER MULCHING, CLEARING OF DEBRIS AND

REPLACEMENT OF DEAD, HAZARDOUS OR DYING PLANTS, TREATING FOR DISEASE OR INJURY, OR ANY OTHER SIMILAR ACT(S) WHICH PROMOTES GROWTH, HEALTH, BEAUTY AND THE LIFE OF TREES, SHRUBS, TURF

WEEDS MONITORING FOR PESTS AND DISEASE, MOWING, PRUNING, THE REMOVAL AND TIMELY

PLANT MATERIAL CALCULATIONS TABLE

2. ALL PLANTS SHALL BE OF SPECIMEN QUALITY, SUPERIOR FORM, HEALTHY, VIGOROUS, WELL BRANCHED,

CONDITIONS AND FOLLOW THE GUIDELINES SET BY THE AMERICAN STANDARD FOR NURSERY STOCK. ANSI Z60.1 (CURRENT EDITION) AMERICAN ASSOCIATION OF NURSERYMEN, INC.

**GENERAL NOTES** 

LANDSCAPE PLAN.

AND OTHER PLANTS.

MONUMENT SIGN







		-
		-
1. REV PER TRC COMMENTS	6/9/2025	AF
REVISIONS AND ISSUES	DATE	BY

ERAL NOTES / LEGEND

"IT'S THE LAW" Know what's below. Call before you dig.

# FIFTH THIRD BANK

1993 N. STATE ST. GREENFIELD, INDIANA 46140 HANCOCK COUNTY SW 4, S29, T16N, R7E

PETERSON ARCHITECTURE 298 S, 10TH ST, STE, 500 NOBLESVILLE, IN 46060

4/29/2025 2411004 SHEET NAME

LANDSCAPE PLAN

L101

ZONING CLASSIFICATION, PLANT MATERIAL REQUIREMENTS ARE SET FORTH BY THE CITY OF GREENFIELD COMMERCIAL GATEWAY NORTH UNIFIED DEVELOPMENT ORDINANCE CITY OF GREENFIELD REQUIRED PROVIDED NORTH, SMALL -10' WIDE PLANTING STRIP, SHADE TREES AND 10 SHRUBS PER 100 LF NORTH - 268LF, 5 TREES AND 27 SHRUBS SOUTH SMALL -10' WIDE PLANTING STRIP 2 SOUTH - 306 LF, 6 TREES AND 31 BUFFERYARDS EAST, SMALL -10' WIDE PLANTING STRIP, 2 EAST - 310 LF, 6 TREES AND 31 SHADE TREES AND 10 SHRUBS PER 100 LF WEST, MEDIUM -20' WIDE PLANTING STRIP, 3 SHADE TREES AND 10 SHRUBS PER 100 LF WEST - 288 LF, 6 TREES (2 EXISTING) AND 29 SHRUBS AND PERENNIALS MULCHED BEDS ALONG THE FRONT FACADE OF BUILDING FOUNDATION THE BUILDING INCLUDING, SHRUBS, RNAMENTAL GRASS, AND PERENNIALS WEST -890 SFT, 18 SHRUBS AND SOUTH - 690 SFT, 14 SHRUBS WIDE PLANTING STRIP ALONG ALL SIDES OF AND 3 EXISTING TREES THE PARKING LOT, 1 SHRUB PER 50 SFT OF GROUNDCOVER, 1 SHADE TREE PER 300 SFT OF PARKING LOT PERIMETER EAST - 795 SFT, 16 SHRUBS AND GROUNDCOVER NORTH - 840 SFT, 17 SHRUBS AND 3 TREES VEGETATIVE AND ARCHITECTURAL SCREEN DUMPSTER / MECHANICAL SCREENING 6' HIGH OPAQUE SCREEN

SHRUBS, ORNAMENTAL GRASS, AND/OR

PERENNIALS

YTITMAUP	KEY	% GENUS PLANTED	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	COMMENTS
DECIDIOUS CANOPY TREES					180		
В	RB	25%	Betula nigra 'Heritage'	Heritage River Birch	BAB	2.5*	
5	AB	25%	Acer freemanii 'Autumn Bleze'	Autumn Blaze Maple	BAB	2,5*	
4	RO	25%	Quercus rubra	Red Oak	B&B	2.5*	
6	LP	25%	Platanus acerifolia ' Exclamation'	Exclamation' London Planetree	BAB	2,5*	
ECIDUOUS SHRUBS							
50	ВН	25%	Hydrangea paniculata 'bobo'	Bobo Hydranges	Container	24*	Space @ 36" o.c.
40	GF	25%	Spiraea x bumalda 'Gold Flame'	Gold Flame Spirea	Container	24"	Space @ 36" o.c.
20	MK	25%	Syringa pubescens	Miss Kim Lilac	Container	24"	Space @ 48* o.c.
EVERGREEN SHRUBS			VA				- \.\.
20	GO	25%	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	Container	24"	Space @ 48* o.c.
34	SG	25%	Juniperus chinensis 'Sea green'	Sea Green Juniper	Container	24"	Space @ 36" o.c.
EVERGREEN TREES							
3	BP	25%	Juniperus chinensis 'Blue Point'	Blue Point Juniper	Container	6	Space @ 5' o.c.
PERENNIAL GRASS	- Al-		····	7			- //. - //.
34	KF	50%	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	Container	#2	Space @ 36" a.c.
50	NW	50%	Panicum virgatum 'Northwind'	'Northwind' Switch Grass	Container	#2	Space @ 36" p.c.

PLANTING SCHEDULE