

**DEV24-05**     **2745 & 2776 N SR9**, Cross Road Engineers, P.C., Agent for KS Real Estate Holdings LLC, requests approval of a Development Plan Approval for a convenience store with gas station in the Commercial North Gateway District (“CN”).

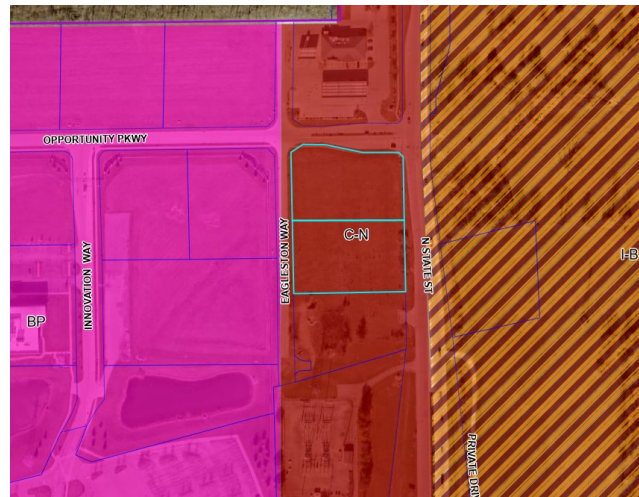
**Exhibits:**

1. **Proposed Development Plans, file dated January 21, 2025**
2. **Color Building Elevations, file dated January 20, 2025**
3. **Development Plan Modification Letters, files dated January 21, 2025**
4. **Replat of Lots 3 & 4, file dated January 24, 2025**

**Location and Surrounding Uses:**



**Aerial Map**



**Zoning Map, Commercial North**

North    CN - Commercial North – Gas Station  
 South   CN - Commercial North – Starbucks & Power Substation  
 East    IB – Interstate Business District – SR9 & Vacant  
 West    BP – Business Park – Vacant lots within Progress Park, Section 1

**History:**

This area was historically farm fields with little development on this site. A small gas station was on the southern portion of this location, but it was torn down and replaced with the gas station to the north across Opportunity Parkway approximately 15 years ago. At that time the area was platted as Gateway Park Subdivision which fronts Progress Business Park. Recently, a Starbucks with Drive Through facilities has been developed on the lower 1/3 of the site, with the remaining 2/3's of the site being proposed for this development. A Springhill Suites Hotel with Conference room was recently approved for development to the northwest in nearby Progress Park by this Plan Commission under case DEV24-03, though actual construction has not yet begun in earnest. The subject site and proposal were given Conditional Use Approval by the BZA on December 17, 2024, under case CU24-05 for “a convenience store with gas station” as well as a companion variance “to allow a dumpster enclosure within a front yard”.

**Current Development Plan Proposal**

The Petitioner proposes to combine Lots 3 & 4 of the Gateway Park Replat of Block A into a single lot under the Secondary Plat Application case SUB24-12. This is being reviewed and processed

administratively without need for Plan Commission review or approval. The Petitioner then plans to develop a “Leo’s Market & Eatery with gas facilities” on the newly created combined lot.

The development will have a Gas Pump Canopy separate from the primary building on the north side of the lot facilitating 10 fuel pump locations. The main front façade of the primary building will face east towards SR 9, with a secondary public entry facing north towards Opportunity Pkwy. The 6,590 square foot structure will include the sale of groceries, prepared foods, indoor and outdoor dining, and a drive-through window along the west side of the building. They are proposing a total of 52 seats between indoor and outdoor tables. There are 4 “EV-Capable” parking spaces delineated for future EV Charging infrastructure within the parking lot along SR 9. These EV-Capable parking spaces will have conduit pre-installed for the future running of power lines and the future installation of charging stations for EVs.

Of note, this location has 3 Front Facings (Front Yards): SR 9, Opportunity Pkwy, & Eagleston Way; and 1 Rear Facing (Rear Yard): South towards Starbucks.

### **Access**

Direct access has been provided per the Proposed Development Plan to and from Eagleston Way via 2 entry-exit curb cuts, onto Opportunity Pkwy via 1 right-turn Exit Only curb cut, to and from SR 9 via 1 Right-In-Right-Out entry-exit curb cut, and internally to the south via a shared parking lot connector onto the Starbucks’ lot to the south. A pedestrian sidewalk along Opportunity Pkwy already in existence will be maintained, and the sidewalks along both Eagleston Way and SR 9 which were installed as part of the Starbucks Development will be connected to, completing the sidewalk network for these lots.

**Findings:** Staff finds that this lot and the proposed development plan have sufficient access to public roadways.

### **Development Standards – CN (Commercial North)**

**Building Placement and Standards-** Setbacks in the CN zoned districts have a front building setback requirement of 15’ minimum and a 60’ maximum, with a side and rear building setback requirement of 10’ minimum. Building Height Maximum is 65’. Lot Coverage maximum is 70%.

**Findings:** Staff finds this proposed development meets the above listed development standards with the building keeping within required minimum setbacks, lot coverage not exceeding the maximum, and the height being approximately 25.5’ above grade at the highest point. There is a 20’ LDUE (Landscape Drainage & Utility Easement) along SR 9 which becomes a variable DUE along Opportunity Pkwy (between 17’ & 38’).

The primary building exceeds the 60’ maximum setback along all 3 of its front façades. A modification request is being filed by the Petitioner to exceed this maximum. Staff finds that the increased setback is required to allow for both the type and location of parking proposed on this site, and that the greenspace and landscaping mentioned below sufficiently mitigate the impact of this increased setback.

**Landscaping-** The Proposed Landscaping includes borders along all 4 sides of this lot with shrubs and deciduous trees acting as buffers between the current development, the Starbucks to the south, and the 3 street frontages along Eagleston Way, Opportunity Pkwy, and SR 9. The Utility Easements along SR 9 necessitated relocation of some of the trees from that buffer yard, but these have been distributed throughout the other buffer yards surrounding the development. All

4 buffer yards have extensive shrub screening provided. The building itself has narrow landscape buffers with shrubbery surrounding the majority of the building. The parking lot islands have been provided with trees.

**Findings:** Staff finds that the proposed landscape plan is sufficient to meet the UDO requirements for all areas specifically and generally within this Development Plan.

**Parking-** Parking Requirements are based on number of employees on largest shift (7) + 1 per 4 seats in restaurant (13) + 1/200 sqft within Gas Station Retail area (33) for the minimum (53) and 150% of the minimum as the maximum (80). This places the Proposed Parking (69) well within the range for minimums and maximums as prescribed by the UDO. All of the parking is within what are considered Front Yards. Opportunity Pkwy and SR 9 have been provided with greater than 15' of greenspace to allow for 25% or greater portions of the onsite parking to be within front yards. The parking along Eagleston Way does not amount to 25% of the total onsite parking, and thus does not require this increased greenspace.

The proposed parking provides a total of 69 parking spaces in the following breakdown:

<b>Parking Type</b>	<b>Provided</b>	<b>Minimum per UDO</b>
<b>ADA</b>	<b>3</b>	<b>3</b>
<b>EV Capable Charging</b>	<b>4</b>	<b>NA</b>
<b>Pump Island</b>	<b>10</b>	<b>NA</b>
<b>General</b>	<b>52</b>	<b>NA</b>
<b>Total</b>	<b>69</b>	<b>53 (Max: 80)</b>

It should be noted that the City Engineer has reviewed the proposed Drive Through with its associated stacking and post-window waiting spaces and deemed them adequate, as per his purview according to the UDO. Drive Through spaces are broken down as follows:

<b>Type</b>	<b>Provided</b>
<b>Stacking Pre-Window</b>	<b>4</b>
<b>Waiting Post Window</b>	<b>3</b>
<b>Total</b>	<b>7</b>

**Findings:** Staff finds that the Development Plan has appropriately allocated sufficient parking spaces throughout the development for all intended uses. Staff further finds that these parking spaces have been appropriately placed to ensure safe and efficient movement throughout the site. Significant greenspace and landscaped buffers have been added along Opportunity Pkwy and SR 9 to align with the UDO's requirements for parking in front yards and to mitigate the impact that parking will have on the streetscape. It should be noted that the inclusion of 4 EV Capable Charging Spaces for the future installation of EV Charging Stations aligns with the City's EV Charging Plan's suggested locations for EV Charging Stations along SR 9 north of I-70.

**Signs:** Signs have been proposed on all public facing façades of the primary building as well as the gas pump canopy. There are 2 Monument Signs proposed, one at the corner of Eagleston Way and Opportunity Pkwy, and the other on the southeast corner of the lot prior to the right-in-right-out entry-exit from SR 9.

**Findings:** All signs have been reviewed and been verified to conform to the UDO's requirements.

**In General, the Plan Commission must be satisfied that the development meets the following five premises:**

- 1. Compatibility with surrounding land uses-** The surrounding Land Uses are primarily the Business Park to the south and west, the power substation & Starbucks restaurant to the south, and the gas station to the north.

**Findings:** This area is zoned CN for the purpose of encouraging commercial development along this northern corridor and near the Business Park and Interchange Business zoned properties surrounding it. Staff finds this type of development compatible with the surrounding land uses.

- 2. Utility availability-**

**Findings:** All appropriate utilities are available at the site.

- 3. Traffic Management that is favorable to health, safety, convenience, and the harmonious development of the community-**

**Findings:** A 5' Non-Access Easement was previously platted on SR 9 except for an existing curb cut located on the southern portion of the lot. Shared SR 9 access is proposed with the lot to the south via a "right-in-right-out" access point onto SR 9 from this lot. Access to Eagleston Way will be provided per this Development Plan. An exit-only curb-cut is being provided along Opportunity Pkwy to allow exits onto Opportunity Pkwy while reducing traffic congestion problems which might arise from an entry at this same location. Relegating the entrances to Eagleston Way and SR 9 shift potential traffic conflicts away from points of heavy congestion. Staff finds that traffic management has been sufficiently addressed.

- 4. Vehicular and pedestrian circulation on-site, with appropriate tie-ins to adjacent public circulation systems -**

**Findings:** The site has ample parking of a wide variety allowing for pedestrian, bike, and vehicular traffic to and from the retail building. Entrance from Eagleston Way immediately into the drive through lane minimizes the interaction between pedestrians and vehicles within the parking lot. A tie-in to the adjacent lot to the south has been provided for cross-circulation between establishments. Staff finds that circulation of all varieties has been adequately addressed.

- 5. Compatibility of scale, materials, and style of improvements with the surrounding area. The style of the architecture of the buildings and structures proposed to be constructed shall be subject to the approval of the Plan Commission. The approval shall be based on the architectural style creating or continuing a unified design which will be in character and proper relationship to the surrounding areas.**

**Findings:** The proposed elevations depict a standard Leo's Eatery and Gas Station facility with brick, FSEI, and metal wall treatments along the primary building, brick and stone treatments for the pillars of the gas station canopy, and a metal roofing for the canopy itself. A brick wainscot has been provided along ½ of the west elevation and almost the entirety of the south elevation walls. All walls are fronted by landscaping in the form of lawns, grass, and / or shrubs. All facades have a mix of material colors and textures to emulate brick and stone. The west elevation, along Eagleston Way, which includes the drive through window, has a large blank

expanse for roughly ½ of the wall. This wall does not meet the UDO's Design Standards for required modulations on a front façade, and as such the Petitioner has filed a Modification Request (detailed below). All other elevations meet the Design Standards of the UDO without need for Modification Requests.

**Modifications Being Requested by Petitioner:**

1. Requesting 25% or greater portion of parking to be located in Front Yards.

**Findings:** Staff finds the request to be reasonable considering the inclusion of extensive greenspace and vegetative screening along all ROWs coupled with the fact that 3 of the 4 sides of this development are considered Front Yards due to the pre-existing conditions of the site.

2. Requesting modification to exceed the maximum allowable front yard setback of sixty (60) feet along the west, north, and east façades adjacent to Eagleston Way, Opportunity Pkwy, and SR 9 rights-of-way.

**Findings:** Staff finds the request to be reasonable considering the drive-through's location (dictated by the pre-existing layout of the site) and the landscape screening provided along Eagleston Way. Staff finds itself supportive of the request along Opportunity Pkwy and SR 9 for similar reasons in light of the extensive landscape screening and greenspace provided on all 3 sides of the property.

3. Requesting reduction of façade modulation requirements along the west façade.

**Findings:** The UDO requires façade modulations every 40' on a Front Façade. The southern portion of the west façade after the drive-through window does not meet this requirement. Staff finds that the provide architectural styling throughout the rest of the building coupled with the foundation landscaping along this portion of the building provide sufficient enhancements to the façade to allow for this modification request.

4. Requesting reduction of windows and doors as a percentage of façade on west and east façades.

**Findings:** The UDO requires 45% of a front façade to be windows and/or doors. The east façade is at only 44%, and the difference is not significant enough to notice, as such, staff supports this request. The west façade is at only 15.5%, with only the drive-through window accounting for this requirement. Though this is far below the requirement, the general look of this façade being that of the "rear" of the building, coupled with the aforementioned landscaping and realities of the site, leave Staff willing to support this request for a reduction in UDO requirements of windows and doors as a percentage of the façades on the east and west sides of the building.

**Staff Recommendation: Approve All Modification Requests listed above.**

**Staff Recommendation: Approve the Development Plan** for a convenience store with gas station in the Commercial North Gateway District ("CN") on Gateway Park Block A Lot(s) 3 & 4 based on the plans file dated January 21, 2025, subject to the findings in the staff report, the approved modifications, and the following conditions:

1. All signs shall follow, adhere to, and be in compliance with UDO Sign Regulations including but not limited to those found in UDO Section 155.065.











ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

NO.	DATE	REVISIONS
1	01.21.25	
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7		
8		

REVISIONS

DESIGNED BY: [Signature]

DATE: DECEMBER 27, 2024

PROJECT: LEOS MARKET & EATERY

SCALE: 1" = 20'

# MAINTENANCE OF TRAFFIC

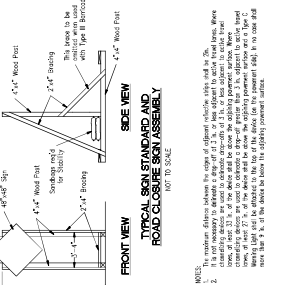
PROJECT: LEOS MARKET & EATERY

DATE: DECEMBER 27, 2024

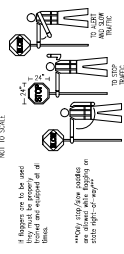
SCALE: 1" = 20'

**MAINTENANCE OF TRAFFIC NOTES**

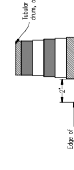
- CONSTRUCTION SHALL MAINTAIN FULL ACCESS TO ALL ADJACENT TRAFFIC ROUTES AND MAINTAIN FULL ACCESS TO ALL ADJACENT TRAFFIC ROUTES AND MAINTAIN FULL ACCESS TO ALL ADJACENT TRAFFIC ROUTES.
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### ALIGNMENT STANDARDS AND PROCEDURES

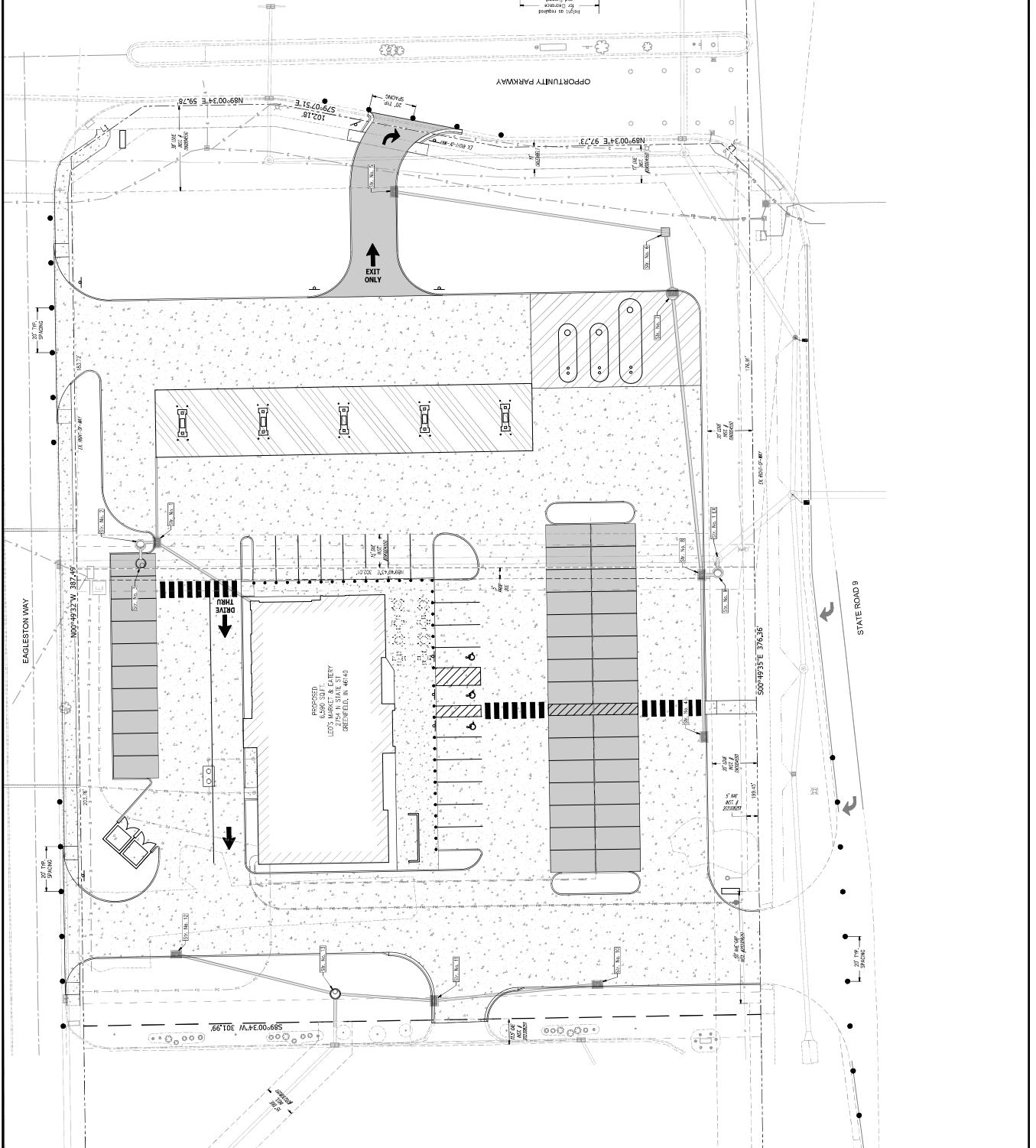


### PLACEMENT OF CHANNELIZING DEVICES



### ACCEPTABLE CHANNELIZING DEVICES

- Devices shall be used in accordance with the following specifications:
- Devices shall be used in accordance with the following specifications:
- Devices shall be used in accordance with the following specifications:
- Devices shall be used in accordance with the following specifications:





NO.	DATE	REVISIONS
1		
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SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
(AR)	AR	17	Aster rubrum 'Flag Summit' Red Summit Aster	2 Cal.		10-12 HT.
(GA)	GA	5	Gingko biloba 'Autumn Gold' Autumn Gold Maidenhair Tree	2 Cal.		10-12 HT.
(GT)	GT	8	Gleditsia inaequalis 'Sycok' Sycok Tree	2 Cal.		12 Ht. Min.
(LT)	LT	11	Lindera umbellata Yellow Spicebush	2 Cal.		10-12 HT.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
(OK)	OK	61	Calluna vulgaris 'Maiden Hair' Maiden Hair Hebe	3 gal.	Per Plan	18" Min. Ht.
(IG)	IG	45	Impatiens 'Patience' Patience Impatiens	3 gal.	Per Plan	18" Min. Ht.
(PL)	PL	61	Physocarpus opulifolius 'Little Devil' Little Devil Physocarpus	TM 3 gal.	Per Plan	18" Min. Ht.
(RA)	RA	33	Rhus aromatica 'Graciosa' Graciosa Rhus	5 gal.	Per Plan	18" Min. Ht.
(SG)	SG	54	Sorbus domestica 'Japanesica' Japanese Sorbus	3 gal.	Per Plan	18" Min. Ht.
(TM)	TM	87	Taxus x media 'Dorsetensis' Dorset Yew	5 gal.	Per Plan	18" Min. Ht.

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE ACCEPTED THE ASSUMPTIONS, NOTES, SPECIFICATIONS AND DETAILS WITH THIS PROJECT. (EXCEPT WHERE NOTED TO REMAIN RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION IN THE CONTEXT OF THESE PLANS, NOTES AND SPECIFICATIONS, "FINISH GRADE" SHALL BE THE FINISH GRADE SHOWN ON THE PLANS. THE SOIL SURFACE (NOT TOP OF MULCH) SHALL BE MAINTAINED AT THE FINISH GRADE THROUGHOUT THE PROJECT. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTIONS ON TURF AREA AND SOIL AMENDMENTS.
- CONTRACTOR SHALL MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ALL WALKING SURFACES SHALL BE CONSTRUCTED TO THE FINISH GRADE AND SHALL BE MAINTAINED AT THE FINISH GRADE THROUGHOUT THE PROJECT. ALL WALKING SURFACES SHALL BE CONSTRUCTED TO THE FINISH GRADE AND SHALL BE MAINTAINED AT THE FINISH GRADE THROUGHOUT THE PROJECT.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXISTING SOIL IS SUITABLE FOR PLANTING. SOIL TESTS SHALL BE CONDUCTED TO DETERMINE SOIL PHOSPHORUS AND POTASSIUM LEVELS. SOIL AMENDMENTS SHALL BE APPLIED AS NEEDED TO MEET THE REQUIREMENTS OF THE PLANTING MATERIALS. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXISTING SOIL IS SUITABLE FOR PLANTING. SOIL TESTS SHALL BE CONDUCTED TO DETERMINE SOIL PHOSPHORUS AND POTASSIUM LEVELS. SOIL AMENDMENTS SHALL BE APPLIED AS NEEDED TO MEET THE REQUIREMENTS OF THE PLANTING MATERIALS.
- BASED ON A SOIL TEST PER SPECIFICATIONS, AND THE FINISH GRADE TO BE ESTABLISHED TO MEET THE REQUIREMENTS OF THE PLANTING MATERIALS, THE CONTRACTOR SHALL PROVIDE THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED TO THE SOIL SURFACE. WALKS AND OTHER WALKING SURFACES AFTER INSTALLING SOIL AMENDMENTS IS TO BE MAINTAINED AT THE FINISH GRADE. MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- WALKS AND OTHER WALKING SURFACES AFTER INSTALLING SOIL AMENDMENTS IS TO BE MAINTAINED AT THE FINISH GRADE. MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS.
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- CONTRACTOR SHALL MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ALL WALKING SURFACES SHALL BE CONSTRUCTED TO THE FINISH GRADE AND SHALL BE MAINTAINED AT THE FINISH GRADE THROUGHOUT THE PROJECT.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT HEALTH AND THE PLANT LEGEND. THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR PLANTING) SHALL BE THE FINAL QUANTITY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE SCALE OF THE PLANS ARE NOT AVAILABLE. THE LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (OR PROPER CHANNELS) OF ANY SUBSTITUTIONS. THE CONTRACTOR SHALL PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANT MATERIALS TO THE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE BEFORE ALL PLANTS DELIVERED TO THE SITE. REFER TO THE ARCHITECT FOR ALL PLANTING DETAILS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**LANDSCAPE CALCULATIONS**

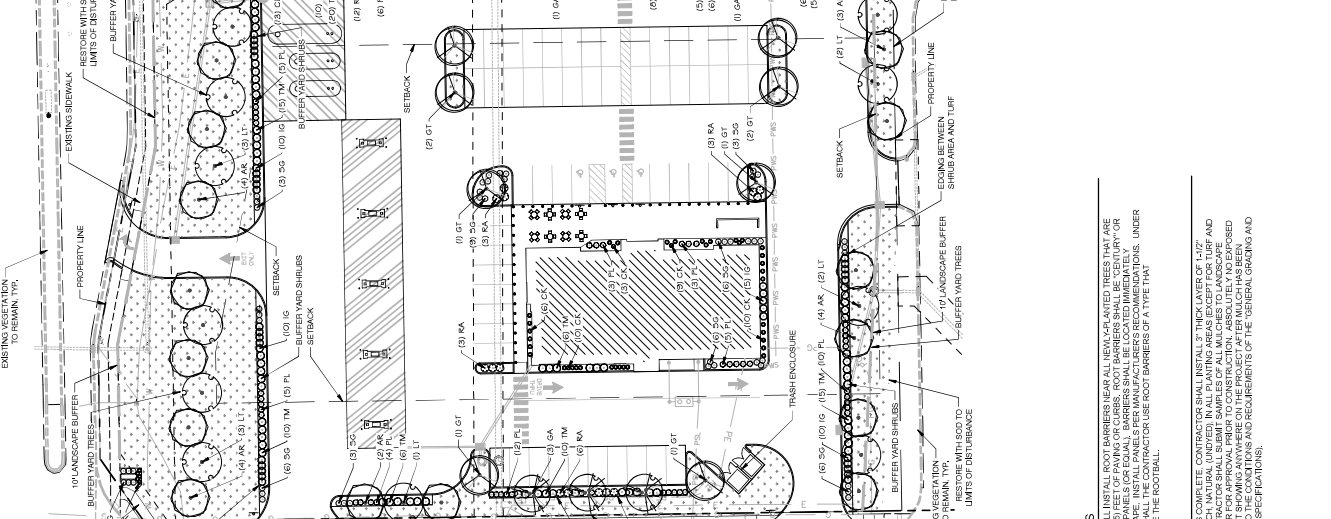
59 SPACES  
 24,865 SF  
 PERIMETER LANDSCAPE STRIP  
 TREES REQUIRED: 5 TREES (1 PER 300 SF)  
 SHRUBS PROVIDED: 71 SHRUBS (1 SHRUB PER 50 SF)

2,468 SF (10% OF LOT)  
 LANDSCAPE AREA REQUIRED  
 SHRUBS PROVIDED: 101 SHRUBS (1 SHRUB PER 25 SF)  
 TREES PROVIDED: 8 TREES  
 TREES PROVIDED: 138 TREES (12 DECIDUOUS TREES PER 100 LF)  
 28 TREES

138 SHRUBS (10 SHRUBS PER 100 LF)  
 44 SHRUBS  
 PROVIDED  
 PROVIDED

LANDSCAPE AREA MIN. 2' WIDE  
 PROVIDED

\*PERIMETER PLANTINGS HAVE BEEN PLACED IN ALTERNATE LOCATIONS DUE TO UTILITY CONFLICTS

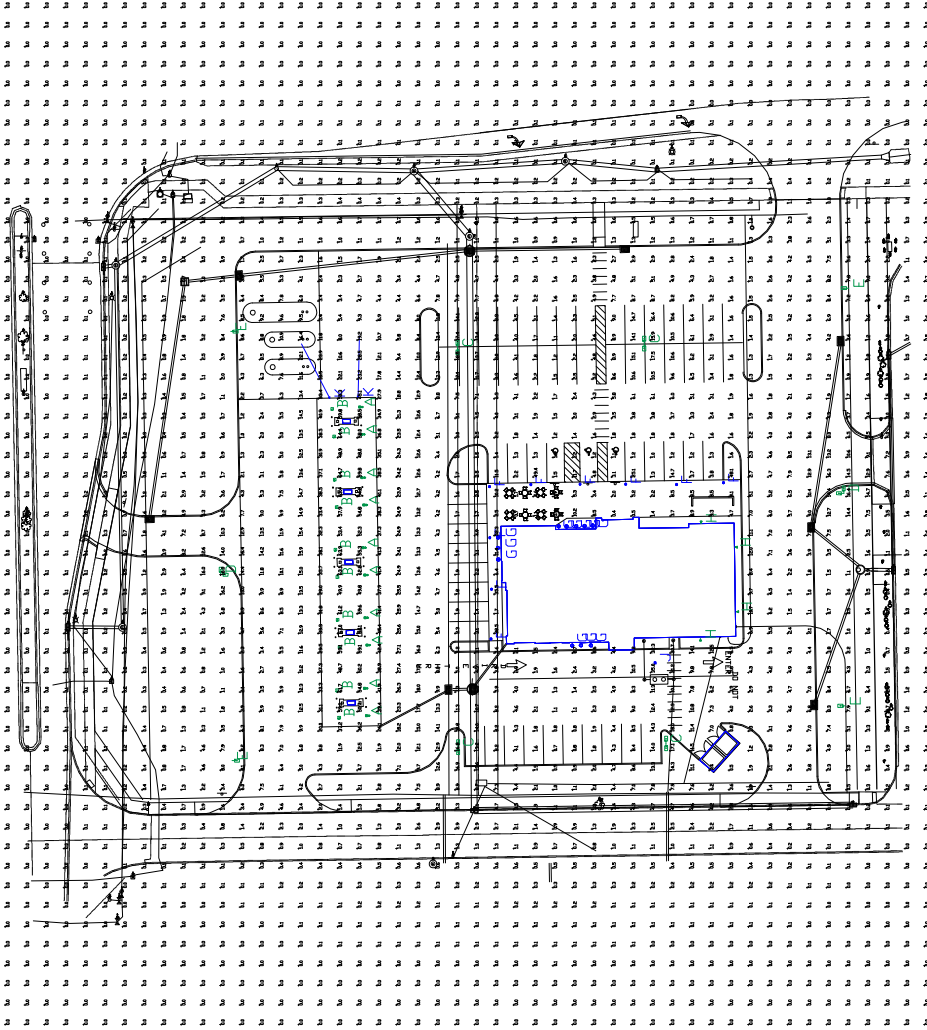


**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL PLANTED TREES THAT ARE 2" DBH OR GREATER. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

**MULCHES**

THE CONTRACTOR SHALL INSTALL A MINIMUM 2" THICK LAYER OF 100% SERRATED WOOD MULCH (UNDYED) IN ALL PLANTING AREAS EXCEPT FOR TURF AND SEED BEDS. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.



**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALCs AT GRADE	Illuminance	FC	3.81	67.0	0.0	N.A.	N.A.	0
CANDPY	Illuminance	FC	5116	67.0	369	1.66	617	
INSIDE CORE	Illuminance	FC	7336	494	107	1031	7637	

**Luminaire Schedule**

Label	Qty	Arrangement	Description	Mounting Height	LF	Avg. Lum. Lumens	Acc. Watts	BIG Rating
A	10	Single	SCV-LED-24L-SCTT-50	15'	1.000	23100	188	B3-UD-G3
B	10	Single	SCV-LED-24L-SC-50	15'	1.000	23284	155	B4-UD-G2
C	4	2 @ 90	SLM-LED-24L-SIL-FT-50-70CRI-D380	18' PPLE+2'BASE	1.000	50866	322	B3-UD-G3
D	2	2 @ 90	SLM-LED-24L-SIL-FT-50-70CRI-D90	18' PPLE+2'BASE	1.000	50866	322	B3-UD-G3
E	4	Single	SLM-LED-24L-SIL-FT-50-70CRISINGLE	18' PPLE+2'BASE	1.000	25143	161	B3-UD-G3
F	9	Single	CBR8-4L-50	3'	1.000	1156	38	B2-U3-G1
G	11	Single	RD-100-12L-40-GW1	10'	1.000	1196	9.3	B1-UD-G2
H	4	Single	XNUM-3-LED-06L-50	10'	1.000	6689	47	B3-UD-G1
I	1	Single	CRUS-SC-SS-50-BLK	10'	1.000	13980	93	B3-UD-G1
J	1	Single	TULF-16L-30	10'	1.000	15863	126.2	B5-UD-G1
K	2	Single	TULF-16L-30	18' MTD DN CANOPY	1.000	15863	126.2	B5-UD-G1

**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations were verified to ensure the accuracy of the layout to lighting or future field conditions. The lighting plan represents illumination levels calculated from laboratory data. This lighting plan represents the predicted performance of any manufacturer's luminaire. Society (IES) approved methods, actual performance of any manufacturer's luminaire may vary. The lighting plan is based on the manufacturer's data and does not include field conditions such as obstructions, dirt on fixtures, or other factors that may affect the lighting performance. This means that the lighting plan is for informational purposes only and should not be used as a construction document or as a field document for ordering products.

The IES no longer uses the Cutoff Classification System for LED fixtures. The lighting plan is based on the IESNA Illuminance System. All light fixtures are listed with the full Cutoff rating.

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.

Total Project Value  
TOTAL VALUE = \$983,898

Lighting Regional  
115-56675

PROJECT: 115-56675  
DATE: 11/1/2024  
SCALE: 1"=30'

### ROOFTOP EQUIPMENT SCREENS

All roof-top equipment screens shall be constructed so that the equipment screen fully obscures the view of the equipment from all points of abutting property lines and all points of the farthest right-of-way line of any adjacent public or private street. The line of site measurements shall be taken at a height of 8' from grade along the applicable property line or right-of-way line. USE CITYSCAPES ENVISOR UNIT MOUNTED VERTICAL EQUIPMENT SCREENS BY G.C.

### AWNING SCHEDULE

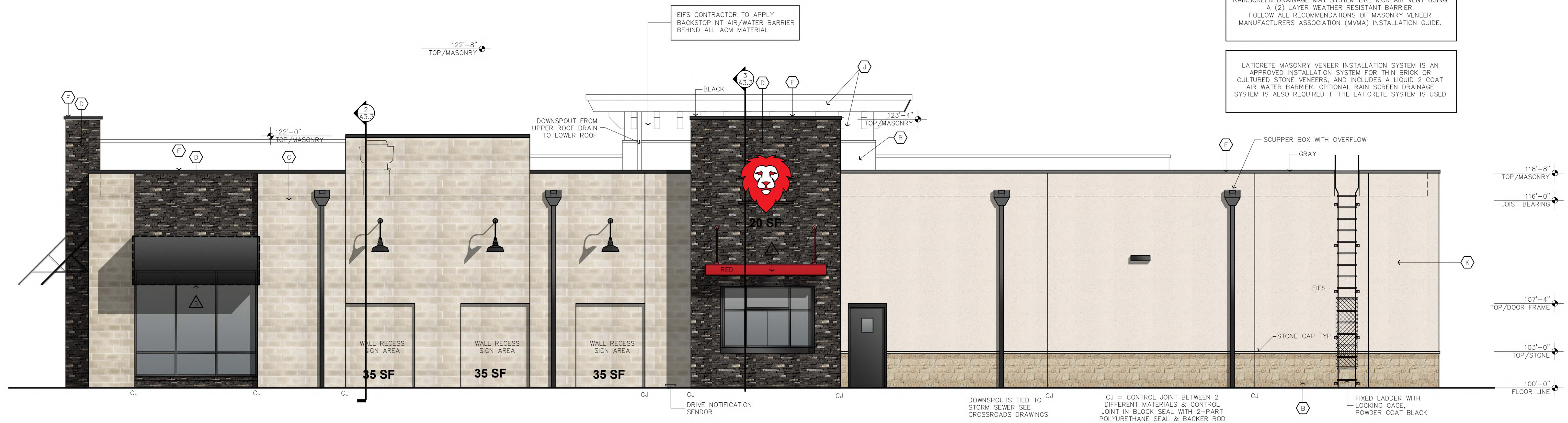
- △ 15'-8"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 20'-6"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 9'-0"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 10'-0"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS RED AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 11"x4"x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 23'-8"x4"x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 11'-8"x4"x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 10'-8"x4"x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR

### EXTERIOR FINISH SCHEDULE

- Ⓐ SUMMITVILLE #91 THIN BRICK, CHARCOAL COLOR OVER TABS II STRUCTURAL PANEL SYSTEM AND TABS II RAIN SCREEN SYSTEM, SHOP DRAWINGS REQUIRED FOR DETAILS
- Ⓑ BORAL 1 1/2" CULTURED STONE, FOUNDATION COLOR, HEWN STONE LIGHT COLOR
- Ⓒ 8x16x1 1/2" CULTURED STONE, PARCHMENT COLOR, CAST FIT
- Ⓓ CULTURED STONE, BLACK RUNDLE COLOR, PRO-FIT ALPINE LEDGESTONE DARK COLOR
- Ⓔ BERRIDGE METAL, MATTE BLACK COLOR, FLUSH SEAM PANEL
- Ⓕ PARAPET CAP BASE BID TO BE 24 GA. KYNAR COATED STEEL BLACK & GRAY. SEE SHEET A-5
- Ⓖ KAWNEER 451-T STOREFRONT SYSTEM SEE SCHEDULES BLACK ANODIZED FINISH
- Ⓗ STEEL DOOR & FRAME SEE SCHEDULES BLACK PAINTED FINISH
- Ⓘ ACM SYSTEM 2200 AS FABRICATED & INSTALLED BY TFC CANOPY GARRETT INDIANA 3" ROUTE AND RETURN DRY RAINSCREEN SYSTEM USING 4MM MITSUBISHI APLIC MATERIAL CONTACT TYLER GREGORY 1-800-832-3212 tgregory@centurion.com
- Ⓚ EIFS- DRYVIT OUTSULATION PLUS MD 2" MIN. OATMEAL COLOR FINE FINISH

ALL CULTURED STONE VENEER IS TO BE APPLIED OVER A RAINSCREEN DRAINAGE MAT SYSTEM LIKE MORTAIR VENT USING A (2) LAYER WEATHER RESISTANT BARRIER. FOLLOW ALL RECOMMENDATIONS OF MASONRY VENEER MANUFACTURERS ASSOCIATION (MVMA) INSTALLATION GUIDE.

LATICRETE MASONRY VENEER INSTALLATION SYSTEM IS AN APPROVED INSTALLATION SYSTEM FOR THIN BRICK OR CULTURED STONE VENEERS, AND INCLUDES A LIQUID 2 COAT AIR WATER BARRIER, OPTIONAL RAIN SCREEN DRAINAGE SYSTEM IS ALSO REQUIRED IF THE LATICRETE SYSTEM IS USED



**2 REAR ELEVATION**  
SCALE: 1/4"=1'-0"  
WEST SIDE OF BUILDING  
TOTAL SIGNAGE AREA = 125 sft



**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"  
EAST SIDE OF BUILDING  
TOTAL SIGNAGE AREA = 60 sft

Leo's at Gateway Park  
1-70 & STATE ROAD 9  
GREENFIELD INDIANA  
EXTERIOR ELEVATIONS



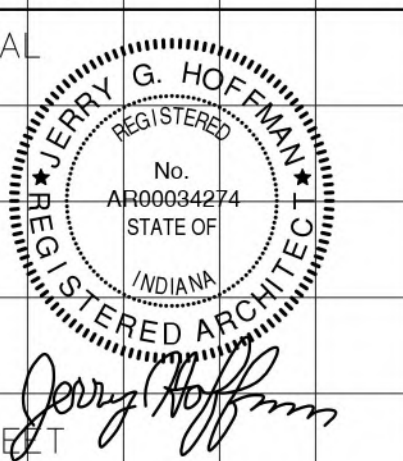
**US Architects**  
9200 W. SMITH STREET  
YORKTOWN, INDIANA 47396  
TELEPHONE: 765-405-1220  
FAX: 765-405-1219  
WEB: usarchitectsmuncie.com

JERRY G. HOFFMAN,  
PARTNER  
KEITH L. GARY,  
PARTNER

DRAWN:  
CHECKED:  
REVISIONS:  
4-11-24 PER CITY ADDRESS SIGN

**DATES**  
CD PHASE  
START DATE: 00/00/00  
FINISH DATE: 00/00/00

**PLOT INFORMATION**  
FILE NAME:  
PLOT DATE:  
CAD OPER.:



SHRIT  
**A-2.0**

**ROOFTOP EQUIPMENT SCREENS**

All roof-top equipment screens shall be constructed so that the equipment screen fully obscures the view of the equipment from all points of abutting property lines and all points of the farthest right-of-way line of any adjacent public or private street. The line of site measurements shall be taken at a height of 8' from grade along the applicable property line or right-of-way line. USE CITYSCAPES ENVISOR UNIT MOUNTED VERTICAL EQUIPMENT SCREENS BY G.C.

**AWNING SCHEDULE**

- △ 15'-8"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 20'-6"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 9'-0"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 10'-0"x4"x12" MAPES EXTRUDECK FLAT SOFFIT, SMOOTH FACE GLOSS BLACK AWNING SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 11'x4'x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 23'-8"x4'x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR
- △ 11'-8"x4'x4' SUNBRELLA FABRIC BLACK AWNING + ALUMINUM FRAME AS MFD BY INDY IMAGING INC. SUPPLIED & INSTALLED BY GENERAL CONTRACTOR

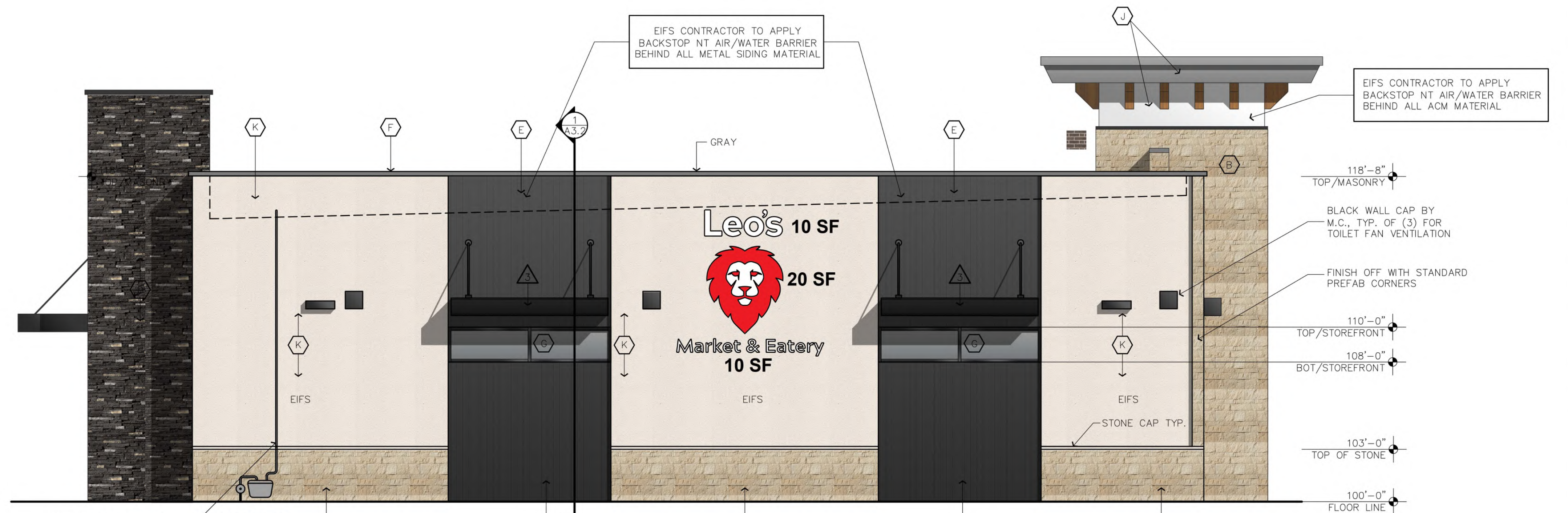
ALL CULTURED STONE VENEER IS TO BE APPLIED OVER A RAINSCREEN DRAINAGE MAT SYSTEM LIKE MORTAIR VENT USING A 2 LAYER WEATHER RESISTANT BARRIER. FOLLOW ALL RECOMMENDATIONS OF MASONRY VENEER MANUFACTURERS ASSOCIATION (MVMA) INSTALLATION GUIDE.

LATICRETE MASONRY VENEER INSTALLATION SYSTEM IS AN APPROVED INSTALLATION SYSTEM FOR THIN BRICK OR CULTURED STONE VENEERS, AND INCLUDES A LIQUID 2 COAT AIR WATER BARRIER, OPTIONAL RAIN SCREEN DRAINAGE SYSTEM IS ALSO REQUIRED IF THE LATICRETE SYSTEM IS USED

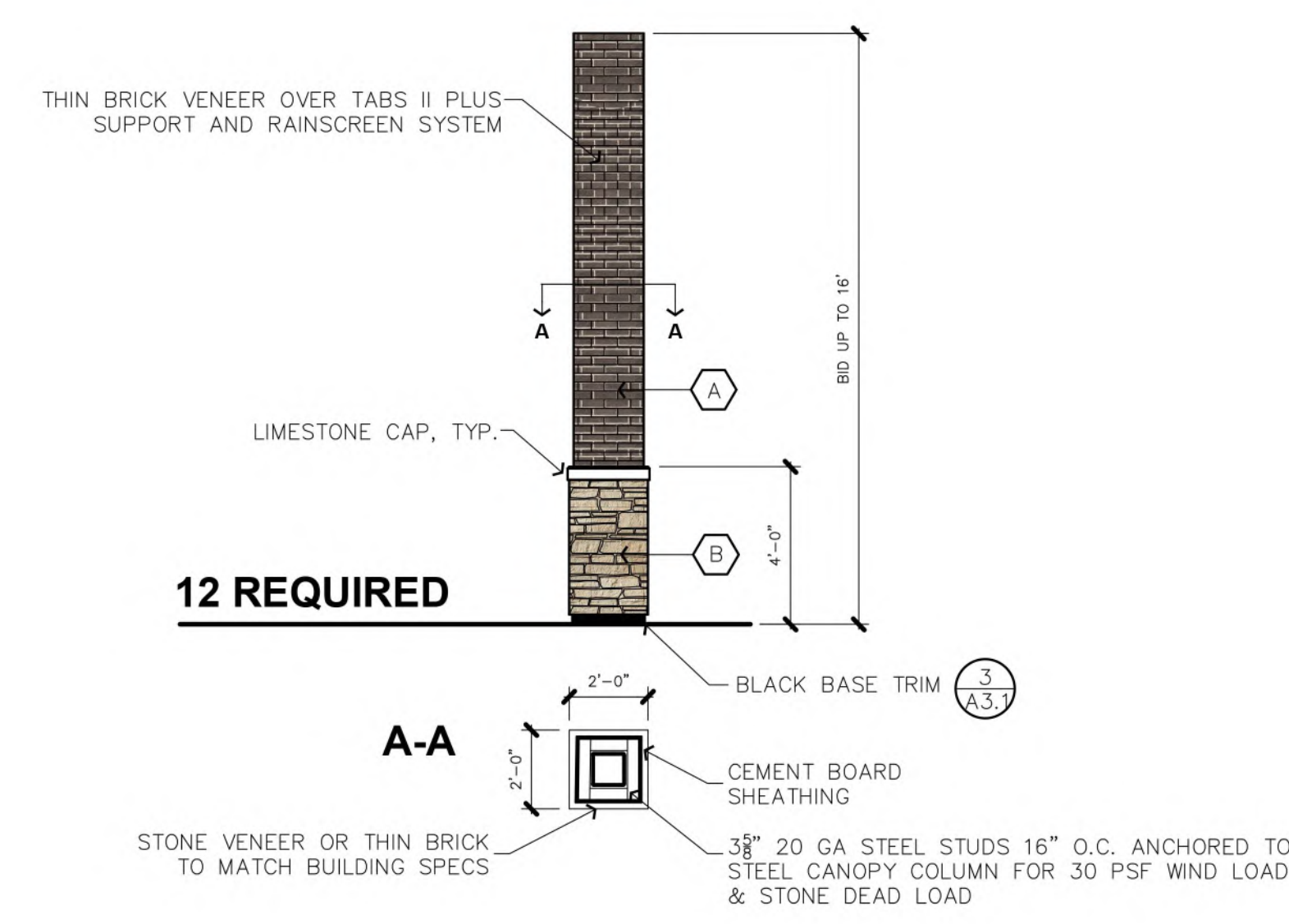
ROOFTOP UNITS VISIBLE WITHIN 200 FEET OF BUILDING WILL BE SCREENED USING CITYSCAPES ENVISOR UNIT MOUNTED VERTICAL EQUIPMENT SCREENS SUBCONTRACTED BY OWNER

**EXTERIOR FINISH SCHEDULE**

- A SUMMITVILLE #81 THIN BRICK, CHARCOAL COLOR OVER TABS II STRUCTURAL PANEL SYSTEM AND TABS II RAIN SCREEN SYSTEM, SHOP DRAWINGS REQUIRED FOR DETAILS
- B BORAL 1 1/2" CULTURED STONE, FOUNDATION COLOR, HEWN STONE LIGHT COLOR
- C 8x16x1 1/2" CULTURED STONE, PARCHMENT COLOR, CAST FIT
- D CULTURED STONE, BLACK RUNDLE COLOR, PRO-FIT ALPINE LEDGESTONE DARK COLOR
- E BERRIDGE METAL, MATTE BLACK COLOR, FLUSH SEAM PANEL
- F PARAPET CAP BASE BID TO BE 24 GA. KYNAR COATED STEEL BLACK & GRAY, SEE SHEET A-5 FOR ADD ALTERNATE WIDE ACM CAP
- G KAWNEER 451-T STOREFRONT SYSTEM SEE SCHEDULES BLACK ANODIZED FINISH
- H STEEL DOOR & FRAME SEE SCHEDULES BLACK PAINTED FINISH
- J ACM SYSTEM 2200 AS FABRICATED & INSTALLED BY TFC CANOPY GARRETT INDIANA 3" ROUTE AND RETURN 1-800-832-3212 DRY RAINSCREEN SYSTEM USING 4MM MITSUBISHI APOLIC MATERIAL CONTACT TYLER GREGORY tgregory@centurion.com
- K EIFS- DRYVIT OUTSULATION PLUS MD 2" MIN. OATMEAL COLOR FINE FINISH



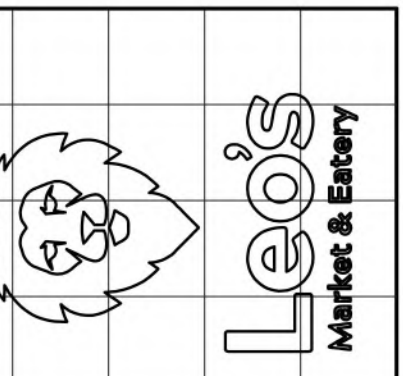
**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"  
SOUTH SIDE OF BUILDING  
TOTAL SIGNAGE AREA = 40 sft



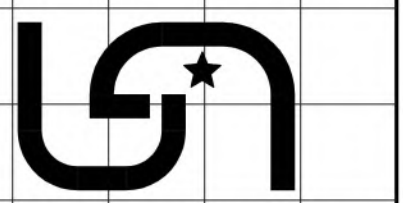
**CANOPY COLUMN DETAIL**  
SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"  
NORTH SIDE OF BUILDING  
TOTAL SIGNAGE AREA = 85 sft



**Leo's at Gateway Park**  
1-70 & STATE ROAD 9  
GREENFIELD INDIANA  
EXTERIOR ELEVATIONS

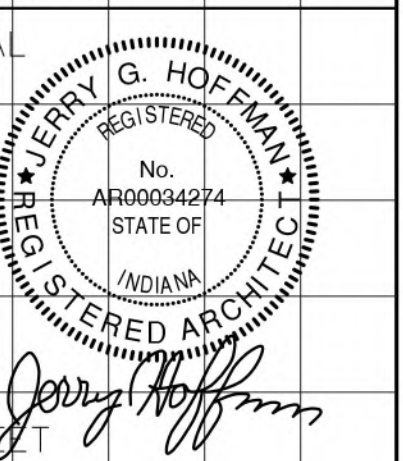


**US Architects**  
9200 W. SMITH STREET  
YORKTOWN, INDIANA 47296  
TELEPHONE 765-405-1220  
FAX 765-405-1219  
WEB usarchitectsmuncie.com

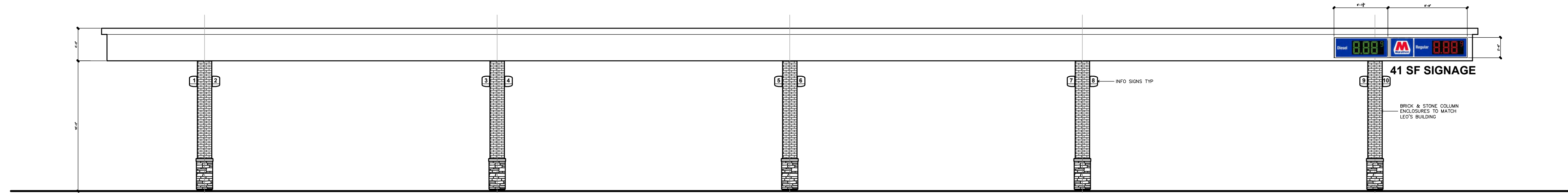
JERRY G. HOFFMAN,  
PARTNER  
KEITH L. GARY,  
PARTNER

DRAWN:  
CHECKED:  
REVISIONS:

**DATES**  
CD PHASE  
START DATE: 00/00/00  
FINISH DATE: 00/00/00  
**PLOT INFORMATION**  
FILE NAME:  
PLOT DATE:  
CAD OPER.:

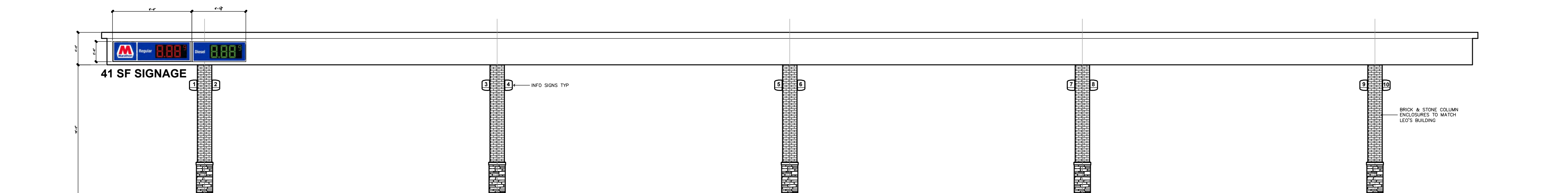


SHET  
**A-2.1**



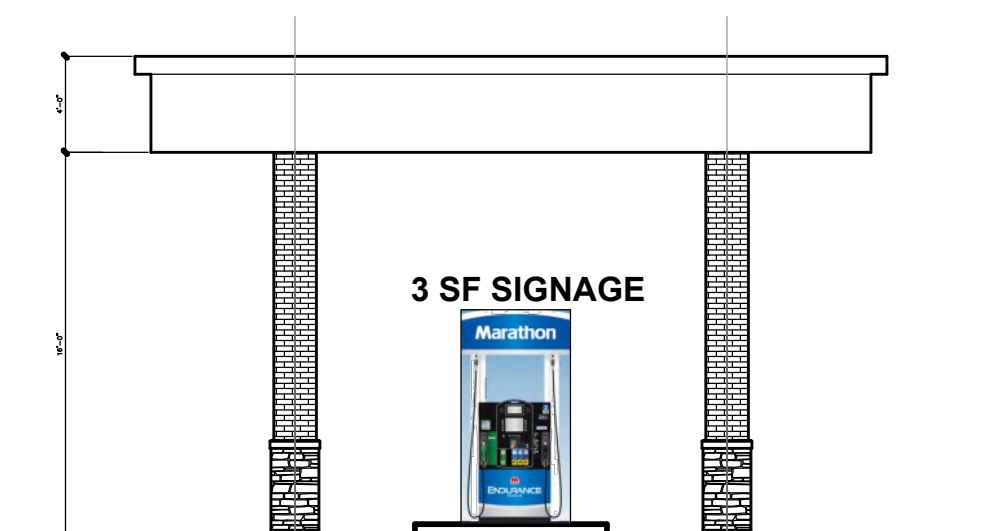
**SOUTH ELEVATION**

1/8" = 1'-0"



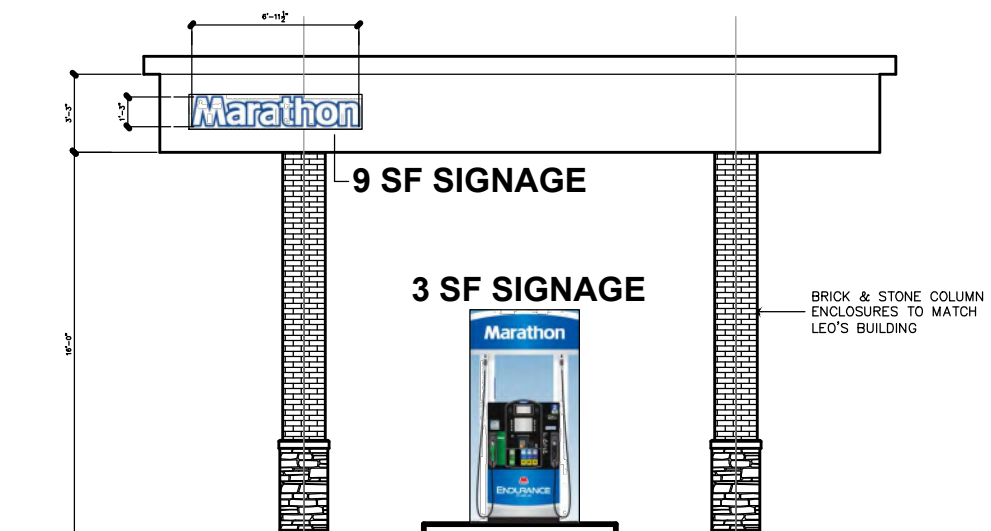
**NORTH ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

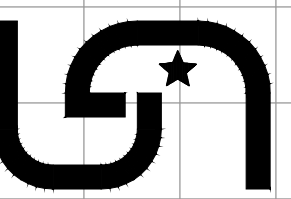
1/8" = 1'-0"



**EAST ELEVATION**

1/8" = 1'-0"

**Leo's at Gateway Park**  
 I-70 & STATE ROAD 9  
 GREENFIELD INDIANA  
**CANOPY SIGNAGE**



**US Architects**

9200 W. SMITH STREET  
 YORKTOWN, INDIANA 47396  
 TELEPHONE 765-405-1220  
 FAX 765-405-1219  
 WEB usarchitectsmuncie.com

JERRY G. HOFFMAN,  
 PARTNER  
 KEITH L. GARY,  
 PARTNER

DRAWN:

CHECKED:

REVISIONS:

**DATES**

CD PHASE  
 START DATE: 00/00/00  
 FINISH DATE: 00/00/00

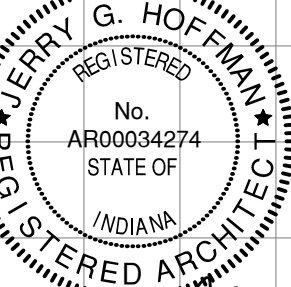
**PLOT INFORMATION**

FILE NAME:

PLOT DATE:

CAD OPER.:

SEAL



*Jerry Hoffman*

**CAN-SIGN**



**60 sf Monument Sign**



Date: January 21, 2025

Petition / Docket #: DEV24-05 & SUB24-12

Approximate Address: 2754 N. State Street

Dear Plan Commission,

The Petitioner is requesting the following **Development Plan Modifications** from the UDO :

**Per 155.083.6** : *The following development requirements may be modified or waived by the Plan Commission upon the approval of a development plan if the applicant can demonstrate that the proposed development plan and the community is better served by the proposed standards: (Circle all that apply)*

- A. *Compliance with building setback lines.*
- B. *Compliance with lot coverage requirements in the district.*
- C. *Parking, in accordance with Section **155.066**.*
- D. *Landscaping*
- E. *Compliance with height regulations in the district.*
- F. *Signage, in accordance with Section **155.065**.*
- G. *Availability and appropriateness of open space and recreation space*
- H. *The location, effect, and arrangement of all artificial lighting shall be subject to the approval of the Commission.*
- I. *An adequate number and proper arrangement of loading and unloading berths. See Section **155.066** for additional requirements.*

**Detailed Modifications Requested:** *(please explain what is being requested with each modification)*

1. **Deviation from Section 155.010, 3., A., vii – parking lot location.**

**Justification:**

Our reasoning for why this Development Plan specifically and the Community in general are better served is as follows *(please explain in detail for each modification requested)*:

**The proposed site is bound by three (3) streets, namely State Road 9, Opportunity Parkway, & Eagleston Way. Therefore, the site features create a hardship that is unavoidable when attempting to place less than twenty-five percent (25%) of the parking out of the front yard. It is requested that parking be permitted within all front yards given that a 15-foot landscaped strip shall be provided along the street frontages, as identified in the UDO.**

Sincerely,  
**KS Real Estate Holdings, LLC**

Date: January 29, 2025

Petition / Docket #: DEV24-05 & SUB24-12

Approximate Address: 2754 N. State Street

Dear Plan Commission,

The Petitioner is requesting the following **Development Plan Modifications** from the UDO :

**Per 155.083.6** : *The following development requirements may be modified or waived by the Plan Commission upon the approval of a development plan if the applicant can demonstrate that the proposed development plan and the community is better served by the proposed standards: (Circle all that apply)*

- A. *Compliance with building setback lines.*
- B. *Compliance with lot coverage requirements in the district.*
- C. *Parking, in accordance with Section **155.066**.*
- D. *Landscaping*
- E. *Compliance with height regulations in the district.*
- F. *Signage, in accordance with Section **155.065**.*
- G. *Availability and appropriateness of open space and recreation space*
- H. *The location, effect, and arrangement of all artificial lighting shall be subject to the approval of the Commission.*
- I. *An adequate number and proper arrangement of loading and unloading berths. See Section **155.066** for additional requirements.*

**Detailed Modifications Requested:** *(please explain what is being requested with each modification)*

1. **Deviation from Section 155.010, 3., A., ii – setbacks. Requesting to exceed the maximum allowable front yard setback of sixty (60) feet along the State Road 9, Opportunity Parkway, and Eagleston Way rights-of-way.**

**Justification:**

Our reasoning for why this Development Plan specifically and the Community in general are better served is as follows *(please explain in detail for each modification requested)*:

**In order to provide the necessary pavement widths to accommodate the proposed site improvements (gas canopy, drive-thru lane, drive aisles, and parking areas), it is necessary to position the building outside of the maximum setback identified in the UDO. The safe vehicle maneuverability, throughout the proposed development, is of utmost importance and exceeding the maximum building setback, in this instance, shall be a benefit for all who visit this establishment.**

Sincerely,

**KS Real Estate Holdings, LLC**

Date: January 21, 2025

Petition Docket #: DEV24-05 & SUB24-12

Approximate Address: 2754 N. State St.

Dear Plan Commission,

The Petitioner is requesting the following **Modifications From Design Standards** from the UDO:

**Per 155.105:**

1. *Modifications of Design Features should generally be granted in limited scenarios but may be necessary when the Design Standards do not fit appropriately with the style of architecture proposed. Modifications may be requested from the Plan Commission and should generally show how the proposed changes to the code result in a similar or higher quality product, improve structural integrity, and/or maintain cohesion with the surrounding neighborhoods.*
2. *Design guidelines may be modified or waived by the Plan Commission, upon annexation of property, approval of a rezoning or subdivision plat, or at any time upon submission of a Design Standard Modification application with the appropriate public notice in accordance with the Rules of Procedure of the Plan Commission. A letter outlining the requested modifications or waivers from the Design Standards, accompanied by drawings, photos, and plans of any proposed modification shall be submitted with the modification application filing.*
3. *Modifications granted by the Plan Commission shall be considered in effect as long as the petitioner is the owner/ developer of the project. Changes in such shall require a new submission to the Plan Commission and updated approval of the modifications.*
4. *Written justification for each modification requested, specifically addressing that the proposed development plan and the community is better served by the proposed standards in lieu of the ordinance standards.*

**Detailed Modifications Requested:** *(please explain what is being requested with each modification)*

1. **Section 155.104, 3., A. – reduction of façade modulation on west façade**
2. **Section 155.104, 3., E. – reduction of windows and doors as a percentage of façade on west & east façades**

**Justification:**

Our reasoning for why this Development Plan specifically and the Community in general are better served is as follows *(please explain in detail for each modification requested)*:

**The proposed site is bound by three (3) streets, namely State Road 9, Opportunity Parkway, & Eagleston Way. Therefore, the site features create a hardship for adhering to the strict architectural guidelines outlined in Section 105.104. As currently proposed, it is being requested to deviate from the façade modulation on the west façade as that is the ‘rear’ of the building. Modifications to this side of the building will create hardships with the operations inside the building and with the drive-thru component.**

**Similarly, the west façade is deficient in terms of providing the appearance of windows and doors along the rear of the building. Converting the proposed building materials to windows and doors, along the west façade, will create operational hardships. The east façade (front of building) provides 44% of the length of the building wall being windows and doors, so it is deficient by 1% and will not be a noticeable difference from the strict adherence of the standard.**

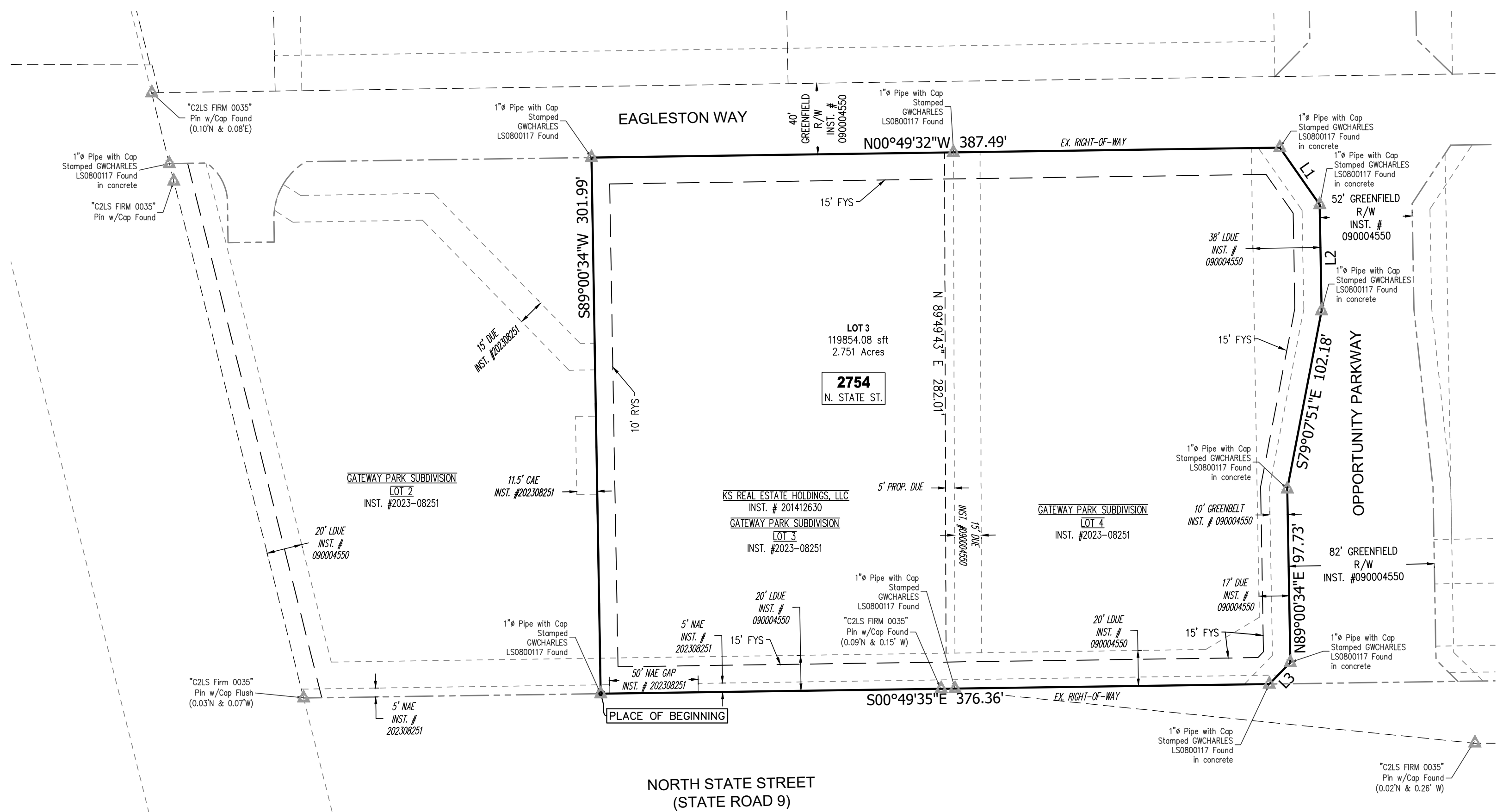
Sincerely,

**KS Real Estate Holdings, LLC**

# GATEWAY PARK SUBDIVISION REPLAT OF LOTS 3 & 4

A PART OF THE NORTHEAST QUARTER OF  
SECTION 20, TOWNSHIP 16 NORTH, RANGE 7 EAST OF  
CENTER TOWNSHIP, HANCOCK COUNTY, INDIANA

Line #	Direction	Length
L1	N54°58'51"E	39.17'
L2	N89°00'34"E	59.78'
L3	S45°49'35"E	16.99'



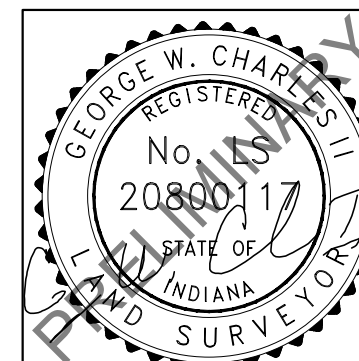
**SURVEYOR**  
CROSSROAD ENGINEERS, PC  
115 N. 17TH AVENUE  
BEECH GROVE, IN 46107  
PHONE: (317) 780-1555  
CONTACT: GEORGE W. CHARLES II

**OWNER**  
KS REAL ESTATE HOLDINGS, LLC  
2700 W. MAIN STREET  
GREENFIELD, INDIANA 46140  
PHONE: (317) 468-2515  
CONTACT: KEITH WHITE

LEGEND	
R/W	RIGHT-OF-WAY
NAE	NON-ACCESS EASEMENT
DUE	DRAINAGE & UTILITY EASEMENT
LOUE	LANDSCAPE, DRAINAGE & UTILITY EASEMENT
CAE	CROSS-ACCESS EASEMENT
FYS	FRONT YARD SETBACK
RYS	REAR YARD SETBACK
SFT	SQUARE FEET
▲	MONUMENT FOUND

DOCUMENT PREPARED BY: GEORGE W. CHARLES II

This plat was prepared from information obtained from ALTA/NSPS Land Title Survey Certification of "Block A in Gateway Park Subdivision". No field work was performed; therefore, the property is subject to any overlaps, gaps, or other inconsistencies that said survey might reveal.



## GATEWAY PARK SUBDIVISION REPLAT OF LOTS 3 & 4

PROJECT NO.	DRAWN	LMC	CHECKED	DJM
DATE: JANUARY 24, 2025	DESIGNED	DJM	APPROVED	GWC



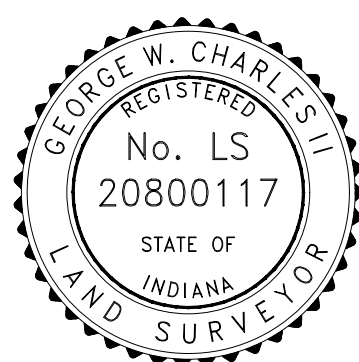
# GATEWAY PARK SUBDIVISION REPLAT OF LOTS 3 & 4

A PART OF THE NORTHEAST QUARTER OF  
SECTION 20, TOWNSHIP 16 NORTH, RANGE 7 EAST OF  
CENTER TOWNSHIP, HANCOCK COUNTY, INDIANA

### SURVEYOR'S CERTIFICATE

I, GEORGE W. CHARLES II, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA. THIS PLAT WAS PREPARED FROM INFORMATION OBTAINED FROM ALTA/NSPS LAND TITLE SURVEY CERTIFICATION OF "BLOCK A IN GATEWAY PARK SUBDIVISION" PREPARED BY CROSSROAD ENGINEERS, PC. NO FIELD WORK WAS PERFORMED; THEREFORE, THE PROPERTY IS SUBJECT TO ANY OVERLAPS, GAPS, OR OTHER INCONSISTENCIES THAT SAID SURVEY MIGHT REVEAL.

*G. W. Charles II*  
GEORGE W. CHARLES II  
REGISTERED LAND SURVEYOR  
NO. 20800117  
STATE OF INDIANA  
EMAIL: gwcharles@crossroadengineers.com  
WEBSITE: crossroadengineers.com



### RECORDING NOTE

I AFFIRM, UNDER PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.  
GEORGE W. CHARLES II

### PLANNING DIRECTOR CERTIFICATE

THE GREENFIELD CITY PLAN COMMISSION STAFF HAS REVIEWED THE APPLICATION FOR THIS PLAT FOR TECHNICAL CONFORMITY WITH THE STANDARDS FIXED IN THE SUBDIVISION CONTROL CODE, IN ACCORDANCE WITH THE PROVISIONS OF THE INDIANA ADVISORY PLANNING LAW, I.C. 36-7-4-706, AND HEREBY CERTIFIES THAT THIS PLAT MEETS ALL OF THE MINIMUM REQUIREMENTS IN THE CODE OF ORDINANCES OF GREENFIELD, INDIANA.

GREENFIELD CITY PLAN COMMISSION STAFF

JOANIE FITZWATER, PLANNING DIRECTOR OF GREENFIELD, INDIANA

DATE: \_\_\_\_\_

### PLAN COMMISSION CERTIFICATE FOR PRIMARY APPROVAL

UNDER AUTHORITY PROVIDED BY THE INDIANA ADVISORY PLANNING LAW, I.C. 36-7-4, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE, AND ALL ACTS AMENDATORY THERETO, AND AN ORDINANCE ADOPTED BY THE GREENFIELD CITY COUNCIL, THIS PLAT WAS GIVEN PRIMARY APPROVAL BY THE CITY PLAN COMMISSION AS FOLLOWS:

APPROVED BY THE GREENFIELD CITY PLAN COMMISSION AT A MEETING HELD ON THE DAY OF \_\_\_\_\_, 2025.

GREENFIELD ADVISORY PLAN COMMISSION

BECKY RILEY, PRESIDENT

### BOARD OF PUBLIC WORKS AND SAFETY CERTIFICATE

THIS PLAT WAS GIVEN PRIMARY APPROVAL BY THE BOARD OF PUBLIC WORKS AND SAFETY OF THE CITY OF GREENFIELD, INDIANA, AT A MEETING HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CHAIRPERSON

RECORDING SECRETARY

### PLAN COMMISSION CERTIFICATE FOR SECONDARY APPROVAL

UNDER AUTHORITY PROVIDED BY THE INDIANA ADVISORY PLANNING LAW, I.C. 36-7-4, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE, AND ALL ACTS AMENDATORY THERETO, AND UNDER AUTHORITY PROVIDED BY CHAPTER 155.072 OF THE GREENFIELD UNIFIED DEVELOPMENT ORDINANCE, THIS PLAT WAS GIVEN SECONDARY APPROVAL BY THE CITY PLAN COMMISSION'S ADMINISTRATIVE STAFF OR BY THE PLAN COMMISSION:

APPROVED BY THE GREENFIELD CITY PLAN COMMISSION ADMINISTRATIVE STAFF ON \_\_\_\_\_ OR BY THE GREENFIELD CITY PLAN COMMISSION AT A MEETING HELD \_\_\_\_\_

GREENFIELD ADVISORY PLAN COMMISSION

BECKY RILEY, PRESIDENT

OR

PLANNING DIRECTOR OF GREENFIELD, INDIANA

JOANIE FITZWATER

WE THE UNDERSIGNED, KS REAL ESTATE HOLDINGS, LLC, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT, AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT. WE DO NOT FURTHER CERTIFY THAT THIS PLAT IS MADE AND SUBMITTED WITH OUR FREE CONSENT AND DESIRES.

THIS SUBDIVISION SHALL BE KNOWN AS THE REPLAT OF LOTS 3 & 4 WITHIN THE GATEWAY PARK SUBDIVISION, AN ADDITION TO THE CITY OF GREENFIELD. ALL STREETS AND ALLEYS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. FRONT YARD BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT. BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREET, THERE SHALL BE ERRECTED OR MAINTAINED NO BUILDING OR STRUCTURE.

A PERPETUAL EASEMENT IS HEREBY GRANTED TO ANY PRIVATE OR PUBLIC UTILITY OR MUNICIPAL DEPARTMENT, THEIR SUCCESSORS AND ASSIGNS, WITHIN THE AREA SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT", TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE, MAINTAIN AND REMOVE CONDUITS, CABLES, PIPES, POLES AND WIRES, OVERHEAD AND UNDERGROUND, WITH ALL NECESSARY BRACES, GUYS, ANCHORS AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, ELECTRIC AND GAS, SEWER AND WATER SERVICE AS A PART OF THE RESPECTIVE UTILITY SYSTEMS; ALSO IS GRANTED (SUBJECT TO THE PRIOR RIGHTS OF THE PUBLIC THEREIN OR OTHER GOVERNING CODES AND ORDINANCES) THE RIGHT TO USE THE STREETS AND LOTS WITH AERIAL SERVICE WIRES TO SERVE ADJACENT LOTS AND STREET LIGHTS, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES OR SHRUBS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF THE SAID PRIVATE OR PUBLIC UTILITY EQUIPMENT, AND THE RIGHT IS HEREBY GRANTED TO ENTER UPON THE LOTS AT ALL TIMES FOR ALL THE PURPOSES AFORESAID, NO PERMANENT STRUCTURES, FENCES, OR TREES SHALL BE PLACED ON SAID AREA AS SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT", BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEM OR LATER INTERFERE WITH THE AFORESAID USER OR THE RIGHTS HEREBY GRANTED.

DRAINAGE & UTILITY EASEMENTS (DUE) ARE CREATED TO PROVIDE PATHS AND COURSES FOR AREA AND LOCAL STORM DRAINAGE, EITHER OVERLAND OR IN UNDERGROUND CONDUIT, TO SERVE THE NEEDS OF THE SUBDIVISION AND ADJOINING GROUND AND/OR PUBLIC DRAINAGE SYSTEM; AND IT SHALL BE THE INDIVIDUAL RESPONSIBILITY OF THE LOT OWNER TO MAINTAIN THE DRAINAGE ACROSS HIS OWN LOT, UNDER NO CIRCUMSTANCES SHALL SAID EASEMENT BE BLOCKED IN ANY MANNER BY THE CONSTRUCTION OR RECONSTRUCTION OF ANY IMPROVEMENT, NOR SHALL ANY GRADING RESTRICT THE WATER FLOW IN ANY MANNER; SAID AREAS ARE SUBJECT TO CONSTRUCTION OR RECONSTRUCTION TO ANY EXTENT NECESSARY TO OBTAIN ADEQUATE DRAINAGE AT ANY TIME BY ANY PUBLIC OR MUNICIPAL UTILITY PROVIDING SERVICES WITH RESPECT THERETO OR ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION OVER DRAINAGE OR BY THE DEVELOPER OF THE SUBDIVISION.

THE FOREGOING COVENANTS ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM UNTIL JANUARY 1, 2034, AT WHICH TIME SAID COVENANTS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIODS OF TEN YEARS UNLESS CHANGED BY VOTE OF A MAJORITY OF THE THEN OWNERS OF THE LOTS COVERED BY THESE COVENANTS, OR RESTRICTIONS, IN WHOLE OR IN PART, INVALIDATION OF ANY ONE OF THE FOREGOING COVENANTS, OR RESTRICTIONS, BY JUDGMENT OR COURT ORDER SHALL IN NO WAY AFFECT ANY OF THE OTHER COVENANTS OR RESTRICTIONS, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

GATEWAY PARK SUBDIVISION IS TO BE SUBJECT TO THE PROVISIONS OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED IN INSTRUMENT NO. 090004550 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA.

THE RIGHT TO ENFORCE THESE PROVISIONS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL, BY DUE PROCESS OF LAW, OF ANY STRUCTURE OR PART THEREOF, ERRECTED OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE PUBLIC, AND RESERVED TO THE SEVERAL OWNERS OF THE SEVERAL LOTS OF THIS SUBDIVISION AND TO THEIR HEIRS AND ASSIGNS.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

KS REAL ESTATE HOLDINGS, LLC  
2700 W. MAIN STREET  
GREENFIELD, INDIANA 46140

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

STATE OF INDIANA }  
                                  } SS:  
COUNTY OF HANCOCK

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED \_\_\_\_\_ OF KS REAL ESTATE HOLDINGS, LLC, WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING PLAT AND CERTIFICATE, FOR AND ON BEHALF OF SAID CORPORATION.

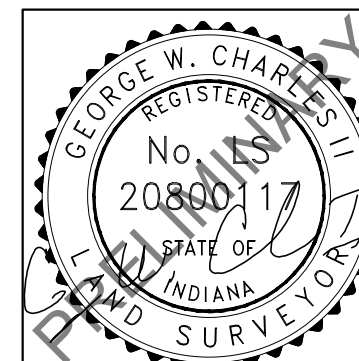
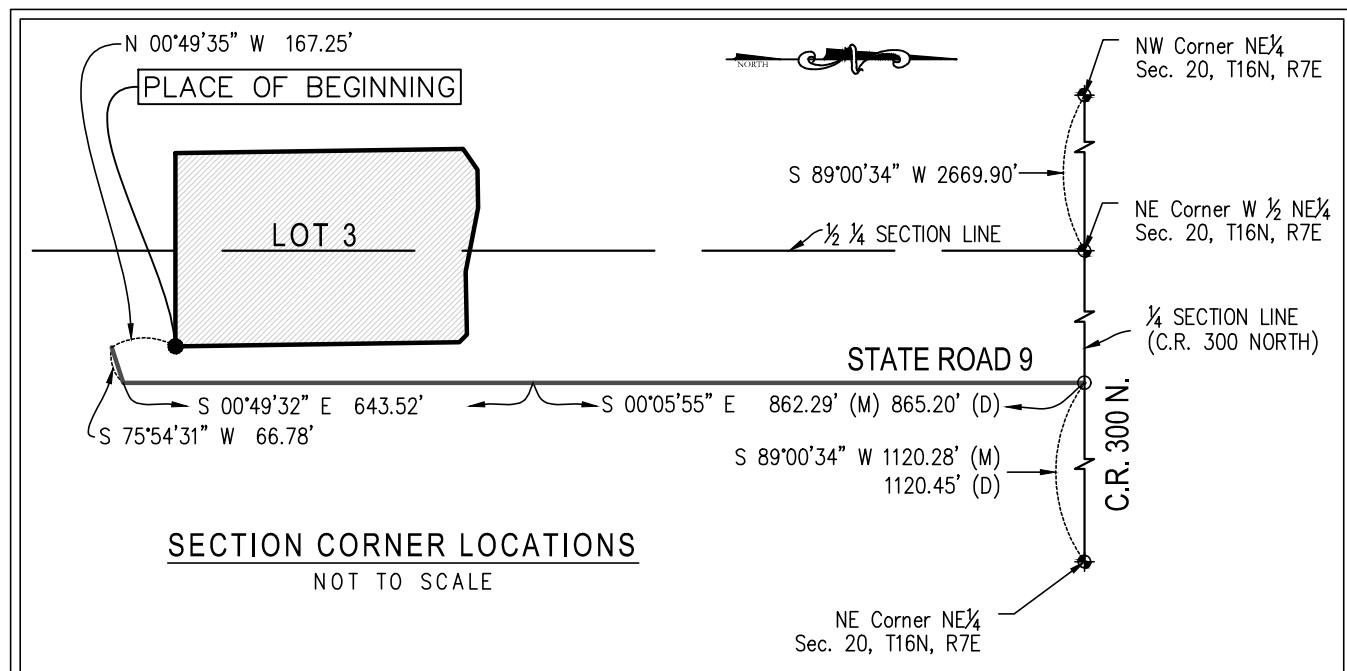
WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

PRINTED NAME \_\_\_\_\_

RESIDING IN \_\_\_\_\_ COUNTY



## GATEWAY PARK SUBDIVISION REPLAT OF LOTS 3 & 4

PROJECT NO.	DRAWN	LMC	CHECKED	DJM
DATE: JANUARY 24, 2025	DESIGNED	DJM	APPROVED	GWC

