

**DEV24-02**     **1523 Melody Ln**, Accura Land Surveying c/o SR9 Development, L.P. requests approval of a **Development Plan** to **expand an existing retail development** within Lot 2 of the Replat of Lot 1A of Brandywine Plaza Ph. 1, +/- 10.445 acres. Zoned "CN" - Commercial North

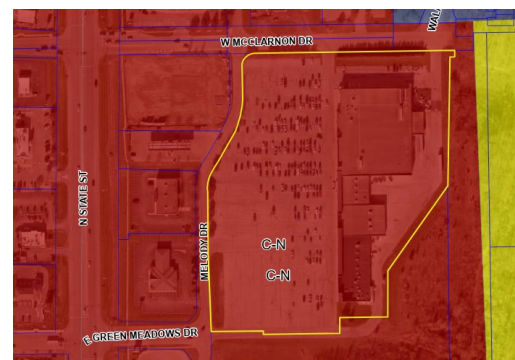
#### Exhibits:

1. Proposed Development Plan file dated October 25, 2024
2. Parking Analysis
3. Elevations (from Architectural Plans dated 9-12-2024)

#### Location and Surrounding Uses:



**Aerial Map**



**Zoning Map, Commercial North**

North    CN - Commercial North – Retail  
 South    CN - Commercial North – (Undeveloped)  
 East     RM – Residential Moderate - (Undeveloped)  
 West     CN – Commercial North – Retail & Restaurant

#### History:

The Brandywine Shopping Center has been a staple of the SR9 landscape for decades, since at least the 1990's. This particular tenant space has been empty for approximately 15 years or more except for the occasional seasonal store such as fireworks occupying the space. The lots recently had their southern and eastern boundaries adjusted through administrative re-platting in order to better align with the proposed building expansion and any potential future projects in the area.

#### Current Development Plan Proposal

The current Development Plan Proposal is to allow for the expansion of the existing retail building's tenant space by approximately 9,300 sq ft +/- into the rear of the lot with a newly installed dock ramp for merchandise deliver, loading, and unloading.

#### Tech Review

Tech Review for this proposal was held in person on Wednesday November 6. The primary concerns noted by the various departments revolved around the relocation of existing utilities and the expansion of water service (including associated fire hydrants) to better service potential future developments to the south and east. These issues were noted by all appropriate

stakeholders, and it was agreed that these will not impede or be negatively impacted by this proposed building expansion. All relevant relocations should be able to proceed without issue based on the cooperation and coordination between all relevant parties.

### **Access**

The rear paved area used by service and delivery trucks will be expanded to the east based on the recent lot-line adjustments. This will ensure continued access for all tenants within this shopping center.

**Findings:** Staff finds that this proposal does not negatively impact the truck access to the rear of the building, nor does it negatively impact pedestrian access to any portion of this or neighboring sites.

### **Development Standards – CN (Commercial North)**

**Building Placement and Standards-** Setbacks in the CN zoned districts have a front building setback requirement of 15' minimum and a 60' maximum, with a side and rear building setback requirement of 10' minimum. The 60' maximum can be waived if a 25' greenspace along the front property line is provided to accommodate parking. Building Height Maximum is 65'. Lot Coverage maximum is 70%.

**Findings:** The proposal is only modifying the existing building on the rear of the property. The nearest that any modified or new-built structure is proposed to reach the property line is approximately 54 feet, well outside of the minimum setback distance. The expansion to the building is intended to mimic the existing building height and would not encroach on the height maximums from the UDO's restrictions. The building expansion is approximately 9,300 sq ft which would not significantly alter the percent of the lot covered by buildings, considering that the lot encompasses the entire shopping center.

**Landscaping-** No Landscaping Plan has been provided for to date but Staff is requesting some of the parking area be brought up to today's landscape standards. The actual change to the shopping center is minimal at this time, so this is simply a request and not a requirement.

**Findings:** Landscape Islands within the existing parking lot would break up the large expanse of asphalt. This petitioner is considering adding islands at the end of the parking aisles directly across from the building, continuing them for the length of the shopping center's front façade. The Petitioner is exploring options with the retailer but no new information has been provided at the time of writing this Staff Report.

**Parking-** Parking layouts will remain unchanged from the previously approved Development Plan(s). Parking Requirements within the CN District for Commercial Retail calls for 1 space per every 200 sq ft of usable retail space. Parking Maximums are generally held to be 1.5 times the minimums.

**Findings:** The existing parking lot has 738 parking spaces. With the new proposed retail space based on provided numbers from the Petitioner, there would be a minimum of 489 spaces required, and a maximum of 735 allowed. Staff finds that there is no need for new parking to be provided on this site, nor is there a need to reduce the existing parking by 3 spaces. Staff further finds that if the Landscape Islands reduce the parking spaces available within the shopping center's parking lot, as mentioned above, that it would not be to such a degree that it negatively impacts available parking at this location.

**In General the Plan Commission must be satisfied that the development meets the following five premises:**

1. **Compatibility with surrounding land uses-** The surrounding Land Uses are primarily Big Box retail stores and chain restaurants.

**Findings:** This area is zoned CN for the purpose of encouraging commercial development along this northern corridor. Staff finds this type of development compatible with the surrounding land uses.

2. **Utility availability-**

**Findings:** All appropriate utilities are available at the site.

3. **Traffic Management that is favorable to health, safety, convenience, and the harmonious development of the community-**

**Findings:** The rear access area of the facility is being expanded to ensure continued sufficient truck access to the rear of all tenant spaces. Staff finds that the proposed Development Plan does not negatively impact the ability of the other properties, their customers, or their delivery drivers to operate as normal on, around, and through the property.

4. **Vehicular and pedestrian circulation on-site, with appropriate tie-ins to adjacent public circulation systems -**

**Findings:** Staff finds that there will be no negative impact on the ability of vehicles or pedestrians to navigate to, through, or around the site, nor will there be any changes to the existing tie-ins to adjacent circulation systems.

5. **Compatibility of scale, materials, and style of improvements with the surrounding area. The style of the architecture of the buildings and structures proposed to be constructed shall be subject to the approval of the Plan Commission. The approval shall be based on the architectural style creating or continuing a unified design which will be in character and proper relationship to the surrounding areas.**

**Findings:** The building itself will not be significantly changed from the perspective of the general public. Staff finds that the expansion of the building exclusively to the rear of the property in a similar style and manner as the existing building is compatible and appropriate in all relevant manners.

**Staff Recommendation: Approve the Development Plan to expand an existing retail development** within Lot 2 of the Replat of Lot 1A of Brandywine Plaza Ph. 1, subject to the findings in the staff report and the following conditions:

1. All signs shall follow, adhere to, and be in compliance with UDO Sign Regulations including but not limited to those found in UDO Section 155.065.
2. All necessary Building Permits shall be applied for and approved through normal means.



**Subdivider:**  
**SR 9 Development**  
**Limited Partnership**  
**8520 Allison Pointe Blvd**  
**Suite 223 PMB 71631**  
**Indianapolis, IN 46250**  
**Contact:**  
**John Zubak**  
**(317) 919-2502**

NOTE: Any variation from this plan must be approved in writing by Accura Express, LLC, DBA Accura Land Surveying. Any evidence discovered in the field that differs from that shown on the plan shall be brought to the attention of Accura Express LLC immediately by written notification.

NOTE: All construction within this subdivision shall comply with the City of Greenfield Public Improvement Design Standards and Specifications Manual.

# Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
 in the Replat of Lot "1A" and Outlot "E"

Part of Section 29, T16N, R7E  
 Center Township, Hancock County, Indiana  
 Zoned C-N (Commercial North Gateway)  
 HUC 14: 05120204040030



Accura Land Surveying  
 Philip D. Going, Owner  
 PO Box 786  
 Greenfield, IN, 46140  
 (317) 462-3734  
 Fax: (888) 585-9642  
 accura@prodigy.net



### LOCAL CONTACTS

Philip Going, Surveyor	.....(317) 462-3734
City of Greenfield Planning	.....(317) 477-4320
City of Greenfield Engin.	.....(317) 325-1322
City of Greenfield Sewer	.....(317) 477-4360
City of Greenfield Water	.....(317) 477-4350
City of Greenfield Storm	.....(317) 477-4320
City of Greenfield Power	.....(317) 477-4370
City of Greenfield Street	.....(317) 477-4380
A.T. & T. - SBC Global	.....(888) 635-5050
Indiana Underground PPS	.....(888) 382-5544
Vectren Energy Delivery	.....(800) 277-1376

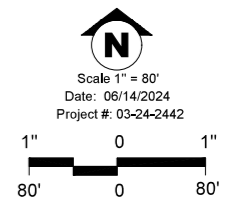
### EMERGENCY NOTIFICATION

Emergency Management	.....(317) 477-1188
Police (non-emergency)	.....(317) 477-4410
Sheriff (emergency)	.....911
E-911 Office	.....(317) 477-4400
DNR (Div. of Water)	.....(317) 232-4160
IDEM (General)	.....(317) 232-8603
IDEM (Report Emergencies)	.....(888) 233-7745
City of Greenfield Fire Dept.	.....(317) 477-4430

### TABLE OF CONTENTS

Cover Sheet	..... C100
Record Plat	..... C200
Initial Conditions	..... C300
Demolition and Temp Drive.	.....C400
Site / Utility Plan	..... C500
Grading Plan	..... C600
Sanitary Lateral Profile	..... C700
Storm and Swale Profile.	..... C800
Watermain Relocation	..... C900
Erosion and SWPPP	..... C1000

Area Of Interest



**For Review Only**  
**Not For Construction**

Latest Revision: October 25, 2024  
 Plan Date: August 30, 2024



Brandywine  
 Plaza Replat  
 Cover Sheet

C100

Brandywine Plaza Phase 1 - Replat of Lots 2 and 3

# Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
in the Replat of Lot "1A" and Outlot "E"



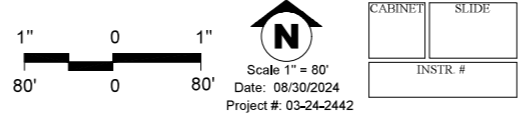
Accura Land Surveying  
Philip D. Going, Owner  
PO Box 786  
Greenfield, IN, 46140  
(317) 462-3734  
Fax: (888) 585-9642  
accura@prodigy.net



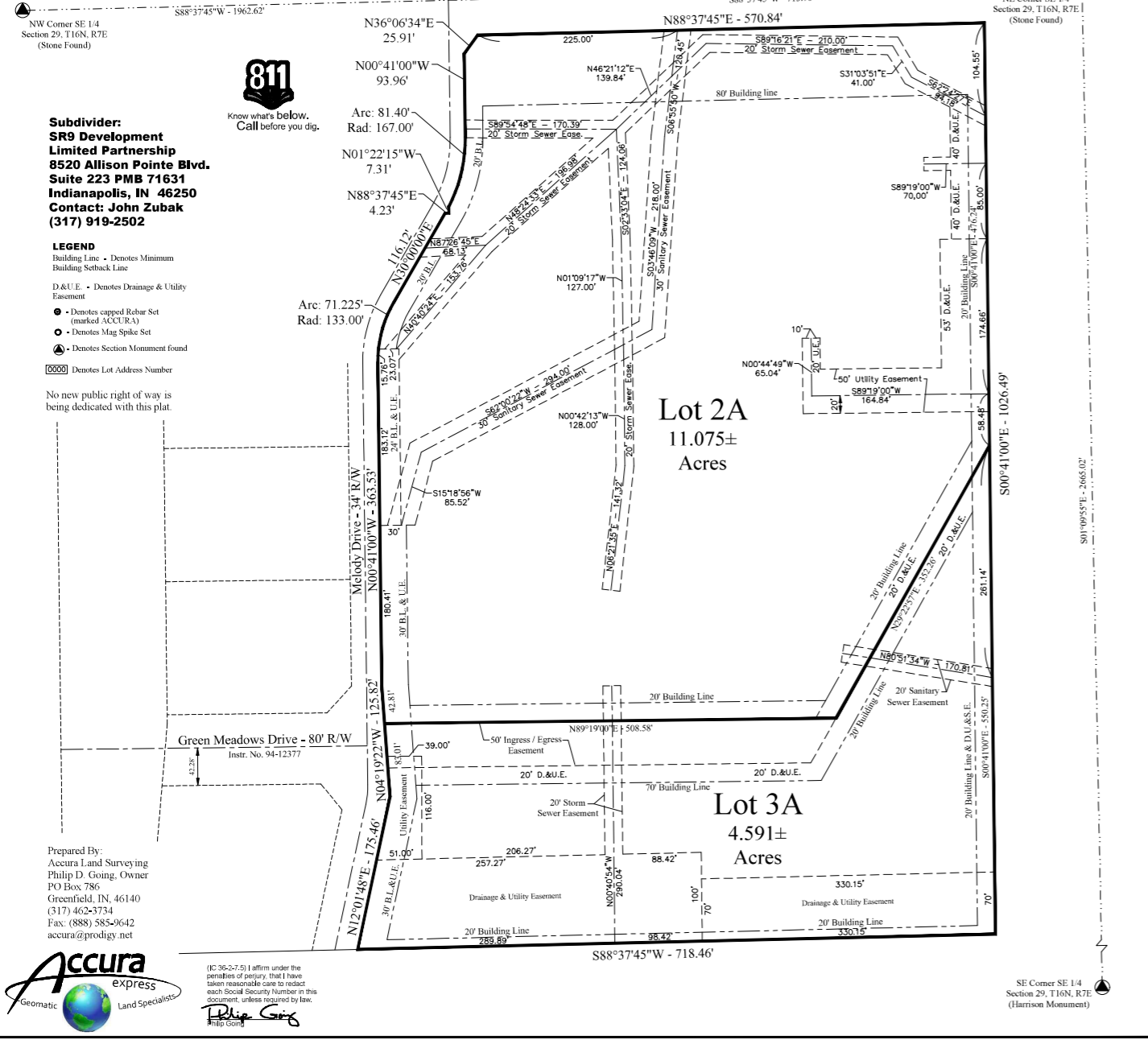
## Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
in the Replat of Lot "1A" and Outlot "E"

Part of Section 29, T16N, R7E  
Center Township, Hancock County, Indiana  
Current Zoning:  
C-N Commercial North Gateway



CABINET	SLIDE
INSTR. #	



## Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
in the Replat of Lot "1A" and Outlot "E"

Part of Section 29, T16N, R7E  
Center Township, Hancock County, Indiana  
Current Zoning:  
C-N Commercial North Gateway

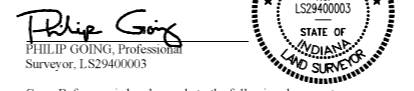
CABINET	SLIDE
INSTR. #	

This subdivision consists of Two Lots numbered 2-A and 3-A. The dimensions are shown in feet and decimal parts thereof.

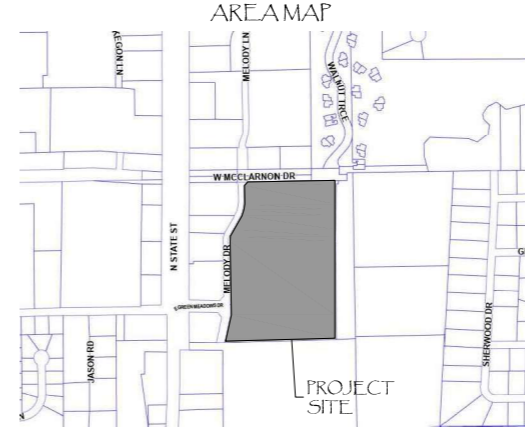
**SURVEYORS CERTIFICATE:**  
I, Philip D. Going, hereby certify that I am a Professional Surveyor, licensed in compliance with the laws of the State of Indiana; that this Replat correctly represents a subdivision of the land surveyed within the cross referenced documents listed below; and that to the best of my professional knowledge and belief there have been no changes from the matters of survey revealed by the cross-referenced documents listed below on any lines that are common with this new Replat; that all monuments shown thereon actually exist; and that all other requirements specified herein, done by me, have been met; and that the real estate is described as follows:

Lot Numbered 2 and Lot Numbered 3 in the Replat of Lot "1A" and Outlot "E" in Brandywine Plaza, Phase One, as per the plat thereof recorded May 7, 2003 as Instrument Number 030009419 in Plat Cabinet C, Slide 121 in the Office of the Recorder of Hancock County, Indiana.

Containing 15.666 acres, more or less.  
CERTIFIED August 30, 2024



Cross Reference is hereby made to the following documents:  
- Survey prepared by Nolan and Gibson Corporation, Job #16550MLT, dated 1/14/94 and recorded as Instrument Number 94-12021;  
- The Plat of Brandywine Plaza, Phase One (Instr. No. 94-12377);  
- The Plat of Outlot "E" in Brandywine Plaza Phase One (Instr. No. 2008086);  
- The Plat of Lot "1A" in Brandywine Plaza Phase One (Instrument No. 2008085);  
- The Replat of Lot "1A" and Outlot "E" in Brandywine Plaza, Phase One (Instrument No. 030009419).



**COMMISSION CERTIFICATE FOR PRIMARY APPROVAL**  
Under authority provided by the Indiana Advisory Planning Law, IC 36-7-1, enacted by the General Assembly of the state, and all acts amendatory thereto, and an ordinance adopted by the City Council, this plat was given primary approval by the City Plan Commission as follows:

Approved by the Greenfield City Plan Commission at a meeting held \_\_\_\_\_, 2024.

GREENFIELD CITY PLAN COMMISSION  
PRESIDENT \_\_\_\_\_

**COMMISSION CERTIFICATE FOR SECONDARY APPROVAL**  
Under authority provided by the Indiana Advisory Planning Law, IC 36-7-4, enacted by the General Assembly of the state, and all acts amendatory thereto, and an ordinance adopted by the City Council, this plat was given secondary approval by the City Plan Commission as follows:

Approved by the Greenfield City Plan Commission at a meeting held \_\_\_\_\_, 2024.

GREENFIELD CITY PLAN COMMISSION  
PRESIDENT \_\_\_\_\_

**BOARD OF WORKS AND PUBLIC SAFETY**  
This plat was given approval by the Board of Public Works and Safety of the City of Greenfield, Indiana, at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

CHAIRMAN \_\_\_\_\_  
CLERK TREASURER \_\_\_\_\_

**ZONING ADMINISTRATOR CERTIFICATE**  
The Greenfield City Plan Commission staff has reviewed the application for this plat for technical conformity with the standards fixed in the subdivision control code, in accordance with the provisions of the Indiana Advisory Planning Law, IC 36-7-1-706, and hereby certifies that this plat meets all of the minimum requirements in the code of ordinances of Greenfield, Indiana.

GREENFIELD CITY PLAN COMMISSION STAFF  
ZONING ADMINISTRATOR OF GREENFIELD, INDIANA  
DATE: \_\_\_\_\_, 2024.

**DEED OF DEDICATION:**  
I, the undersigned, John F. Zubak on behalf of SR9 Development, L.P., owner of the real estate shown and described herein, do hereby certify that I have laid off, platted and subdivided, and hereby lay off, plat and subdivide said real estate in accordance with the within plat.

This subdivision shall be known and designated as BRANDYWINE PLAZA, PHASE 1 - REPLAT OF LOTS 2 AND 3 IN THE REPLAT OF LOT "1A" AND OUTLOT "E" an Addition to the City of Greenfield, Indiana.

All streets and alleys shown and not heretofore dedicated are hereby dedicated to the public.

The official zoning regulations now in effect, along with any variances and modifications from the standards approved for this subdivision, shall be observed.

There is hereby created an easement within all areas designated herein as "DRAINAGE AND UTILITY EASEMENT" for the installation and maintenance of all utilities, including without limitations, electricity, telephone services, water and sewer distribution and collection services, and any other utilities or services that may, in the future, be engaged or caused to be installed by the developer, its successors or assigns and/or the owners of the property within the subdivision, such easement being in favor of the utility or service companies duly authorized to do business within and franchised for the subject area.

No permanent buildings, fences sheds, mini-homes or trees, shrubs or landscape structures shall be placed in said areas designated as "DRAINAGE AND UTILITY EASEMENT".

1. Front yard building setback lines are hereby established as shown on the plat, between which lines and the property line of the street, there shall be erected or maintained no building or structure.

The foregoing covenants are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 2044, at which time said covenants shall be automatically extended for successive periods of ten years unless changed by vote of a majority of the then owners of the building sites covered by these covenants in whole or in part.

Invalidation of any one of the foregoing covenants by judgement or court order shall in no way affect any of the other covenants, which shall remain in full force and effect.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby dedicated to the public, and reserved to the several owners of the several lots in the subdivision and to their heirs and assigns.

IN WITNESS WHEREOF: SR9 Development, L.P., by John F. Zubak, Partner, has caused the presents to be signed this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

STATE OF INDIANA )  
                                  ) SS:  
COUNTY OF HANCOCK )

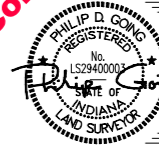
Before me, the undersigned Notary Public, in and for the County and State, personally appeared John F. Zubak and acknowledged the execution of the foregoing instrument as his own voluntary act and deed, for the purposes therein expressed.

Witness my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public  
Resident of \_\_\_\_\_ County  
My Commission Expires: \_\_\_\_\_

Plan Date: August 30, 2024

For Review Only  
Not For Construction



Brandywine Plaza Replat  
Record Plat

C200

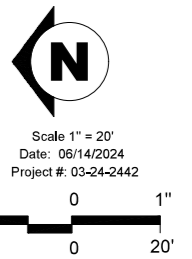
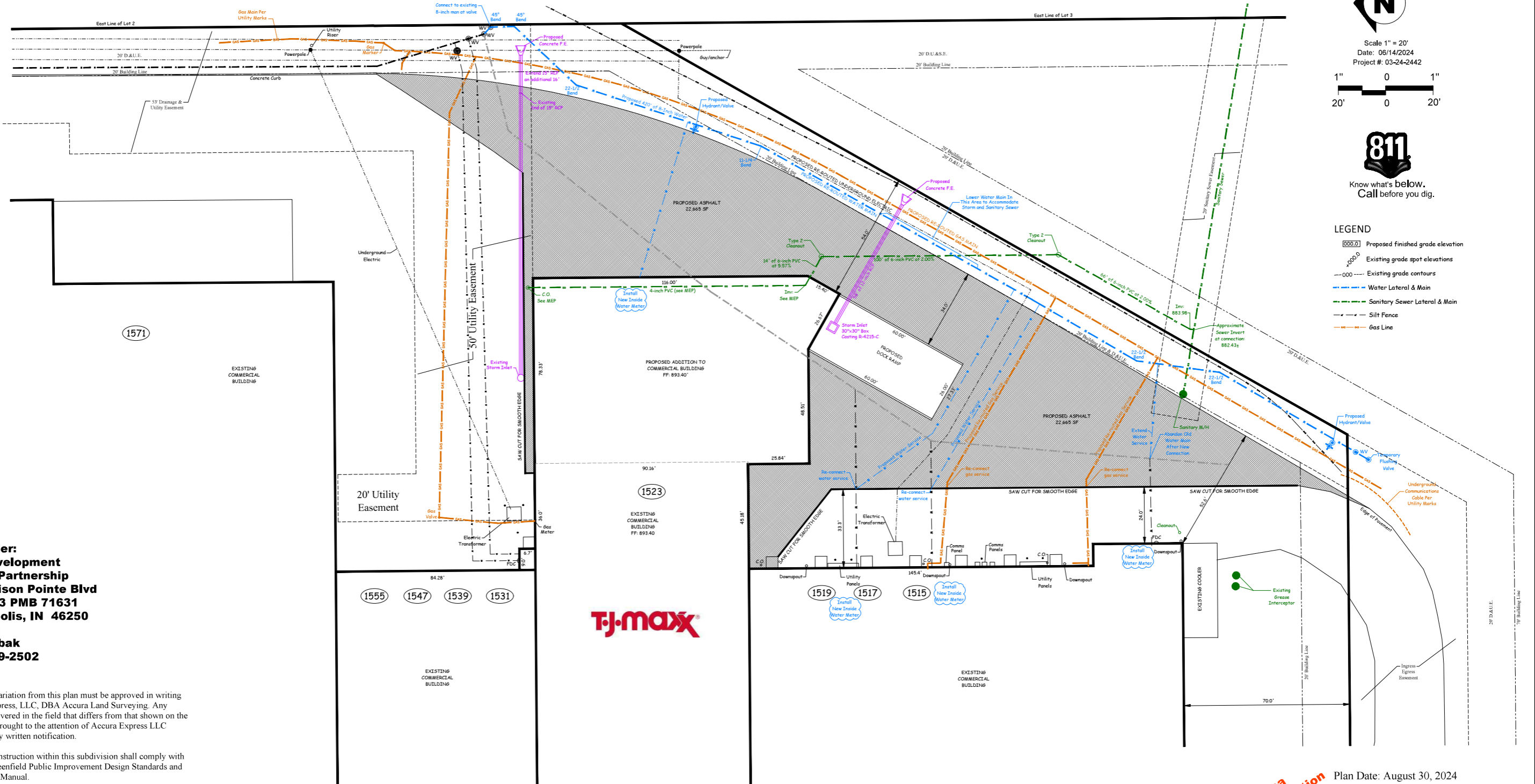
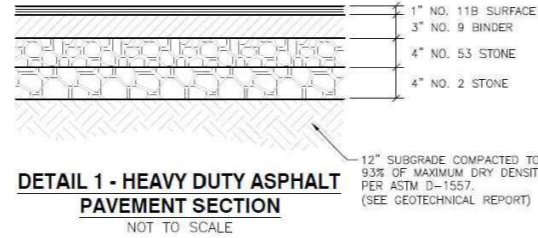


Accura Land Surveying  
Philip D. Going, Owner  
PO Box 786  
Greenfield, IN, 46140  
(317) 462-3734  
Fax: (888) 585-9642  
accura@prodigy.net

# Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
in the Replat of Lot "1A" and Outlot "E"

Part of Section 29, T16N, R7E  
Center Township, Hancock County, Indiana  
Zoned C-N (Commercial North Gateway)



Scale 1" = 20'  
Date: 06/14/2024  
Project #: 03-24-2442

**811**  
Know what's below.  
Call before you dig.

- LEGEND**
- 000.0 Proposed finished grade elevation
  - +00.0 Existing grade spot elevations
  - Existing grade contours
  - Existing grade contours
  - Water Lateral & Main
  - Sanitary Sewer Lateral & Main
  - Silt Fence
  - Gas Line

**Subdivider:**  
**SR 9 Development**  
**Limited Partnership**  
**8520 Allison Pointe Blvd**  
**Suite 223 PMB 71631**  
**Indianapolis, IN 46250**  
**Contact:**  
**John Zubak**  
**(317) 919-2502**

NOTE: Any variation from this plan must be approved in writing by Accura Express, LLC, DBA Accura Land Surveying. Any evidence discovered in the field that differs from that shown on the plan shall be brought to the attention of Accura Express LLC immediately by written notification.

NOTE: All construction within this subdivision shall comply with the City of Greenfield Public Improvement Design Standards and Specifications Manual.

NOTE: Underground utilities are shown per field markings and prior planning documents provided by others. The contractor shall be responsible for verification of underground utilities prior to any construction.

Pro Forma  
Not For Construction

Plan Date: August 30, 2024

Brandywine Plaza Replat

Site Plan

C500



# Brandywine Plaza

Phase 1 - Replat of Lots 2 and 3  
 in the Replat of Lot "1A" and Outlot "E"

Part of Section 29, T16N, R7E  
 Center Township, Hancock County, Indiana  
 Zoned C-N (Commercial North Gateway)

Total Spaces: 738  
 Regular Spaces: 716  
 Accessible: 22

Existing Integrated Center: 88,537 sf  
**Proposed Addition: 9,346 sf**  
 Total Integrated Center: 97,883 sf

Existing Parking Ratio: 1 space / 120 sf  
 After Addition Ratio: 1 space / 132sf

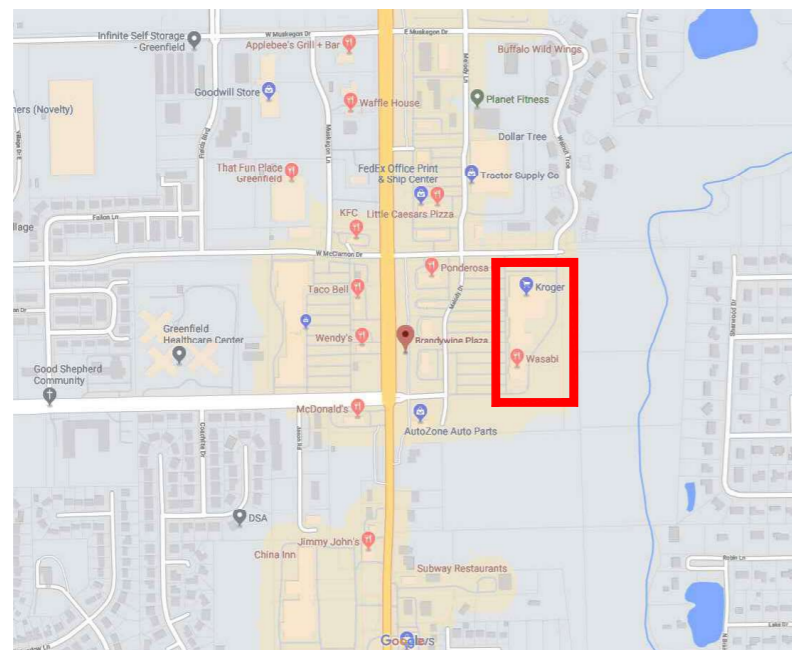
Existing Parking Ratio: 0.0083 spaces per sf  
 After Addition Ratio: 0.0075 spaces per sf

Accura Land Surveying  
 Philip D. Going, Owner  
 PO Box 786  
 Greenfield, IN, 46140  
 (317) 462-3734  
 Fax: (888) 585-9642  
 accura@prodigy.net



# T.J. Maxx

BRANDYWINE PLAZA  
1505 North State Street, Greenfield, IN 46140



Vicinity Map  
NORTH NO SCALE

### GENERAL NOTES

- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
- ALL WORK MUST COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND FEDERAL LAWS.
- THIS PROJECT IS DESIGNED AND DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS, VARIOUS GOVERNING AGENCIES SOMETIMES INTERPRET CODES, LAWS, AND ORDINANCES DIFFERENTLY. THESE AGENCIES HAVE JURISDICTION TO REQUIRE CHANGES IN DESIGN AND CONSTRUCTION. ANY CHANGES OR MODIFICATIONS TO THE DESIGN MAY NECESSITATE PRICE ADJUSTMENTS.
- ALL DIMENSIONS ARE FROM FINISHED FACE OF WALLS.
- EACH CONTRACTOR SHALL SCRUTINIZE ALL DRAWING SHEETS TO DETERMINE FULL EXTENT OF RESPONSIBILITIES FOR EACH RESPECTIVE TRADE.
- REVIEW ALL DRAWINGS (ARCHITECTURAL, HVAC, PLUMBING, ELECTRICAL) CONCERNING SLEEVES, OUTLETS, BOXES, ANCHORS, VENTS, OPENINGS, ETC., THAT MAY BE REQUIRED, EACH RESPECTIVE TRADE IS RESPONSIBLE FOR PROVIDING EQUIPMENT REQUIRED FOR A COMPLETE SYSTEM.
- WHEN THE TERMS "BY OTHERS" OR "BY OWNER" APPEAR ON THE DRAWINGS THE CONTRACTOR SHALL COORDINATE AND VERIFY ANY AND ALL SPECIFIC REQUIREMENTS OF BLOCKING, HOOKUP ETC. WITH THE TENANT, OWNER AND / OR SUPPLIER.
- THE ERRORS AND OMISSIONS DESIGN LIABILITY FOR THE PROJECT SHALL BE LIMITED TO THE DESIGN COST OF CORRECTING THE DEFICIENCY.
- CONTRACTOR TO PROVIDE AND INSTALL ANY MISCELLANEOUS BLOCKING AS REQUIRED FOR ANY WALL MOUNTED SHELVING, EQUIPMENT, OR ACCESSORIES.
- EACH CONTRACTOR SHALL PROVIDE ALL BARRICADES, DUST PARTITIONS, FLOOR PROTECTION, ETC. AS REQUIRED BY LAW OR AS OTHERWISE REQUIRED.
- EACH CONTRACTOR IS REQUIRED TO REMOVE ALL CARTONS, BOXES, PALLETS, PACKAGING, UNUSED MATERIALS, TRASH, AND DEBRIS CAUSED BY HIS WORK FROM THE JOB SITE.
- ONSITE RESTROOMS ARE NOT TO BE USED BY CONTRACTORS, FACILITIES WILL BE PROVIDED BY THE G.C. IN THE BACK LOT.
- CONTRACTORS WHO PENETRATE THE ROOF ARE RESPONSIBLE FOR PATCHING AND REPAIRING THE ROOF AFFECTED.

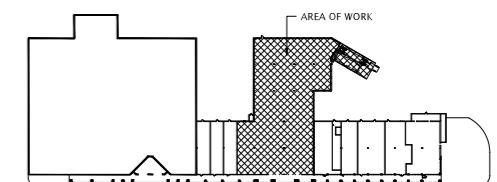
### SCOPE DOCUMENT

THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

### DRAWING SHEET INDEX

- A0.1 COVER SHEET (THIS SHEET)
- A0.2 LIFE SAFETY PLAN
- A0.3 ARCHITECTURAL SITE PLAN
- F1.1 FOUNDATION PLAN
- F2.1 FOUNDATION DETAILS
- F3.1 TYPICAL FOUNDATION DETAILS AND NOTES
- S1.1 ROOF FRAMING PLAN
- S2.1 FRAMING DETAILS
- S3.1 FRAMING GENERAL NOTES
- S3.2 TYPICAL FRAMING DETAILS
- S3.3 TYPICAL MASONRY DETAILS AND NOTES
- A1.1 DEMOLITION PLAN
- A2.1 FLOOR PLAN
- A2.1.1 ENLARGED FLOOR PLANS
- A3.1 REFLECTED CEILING PLAN
- A3.2 ROOF PLAN
- A4.1 FINISH PLAN
- A5.1 TOILET ACCESSORY PLAN AND DETAILS
- A6.1 EXTERIOR ELEVATIONS
- A6.2 EXTERIOR ELEVATIONS
- A6.3 INTERIOR ELEVATIONS
- A7.1 BUILDING SECTIONS
- A7.2 WALL SECTIONS
- A8.1 DOOR SCHEDULE AND DETAILS
- A8.2 DETAILS
- A8.3 DETAILS

MEP DRAWINGS UNDER SEPARATE COVER SHEET



Key Plan  
NORTH not to scale



REV	DATE	ISSUED FOR CONSTRUCTION	REVISION
---	9-12-2024		

All notes, legends, arrangements, and dimensions are shown on these sheets. The contractor shall verify the accuracy of all dimensions and conditions shown on these sheets. The contractor shall be responsible for any changes or modifications to the design. The contractor shall be responsible for providing all equipment and materials required for a complete system. The contractor shall be responsible for coordinating and verifying any and all specific requirements of blocking, hookup, etc. with the tenant, owner and/or supplier. The contractor shall be responsible for providing and installing any miscellaneous blocking as required for any wall mounted shelving, equipment, or accessories. The contractor shall be responsible for providing all barricades, dust partitions, floor protection, etc. as required by law or as otherwise required. The contractor is required to remove all cartons, boxes, pallets, packaging, unused materials, trash, and debris caused by his work from the job site. Onsite restrooms are not to be used by contractors, facilities will be provided by the G.C. in the back lot. Contractors who penetrate the roof are responsible for patching and repairing the roof affected.

ARCHITECTURE

**T S**

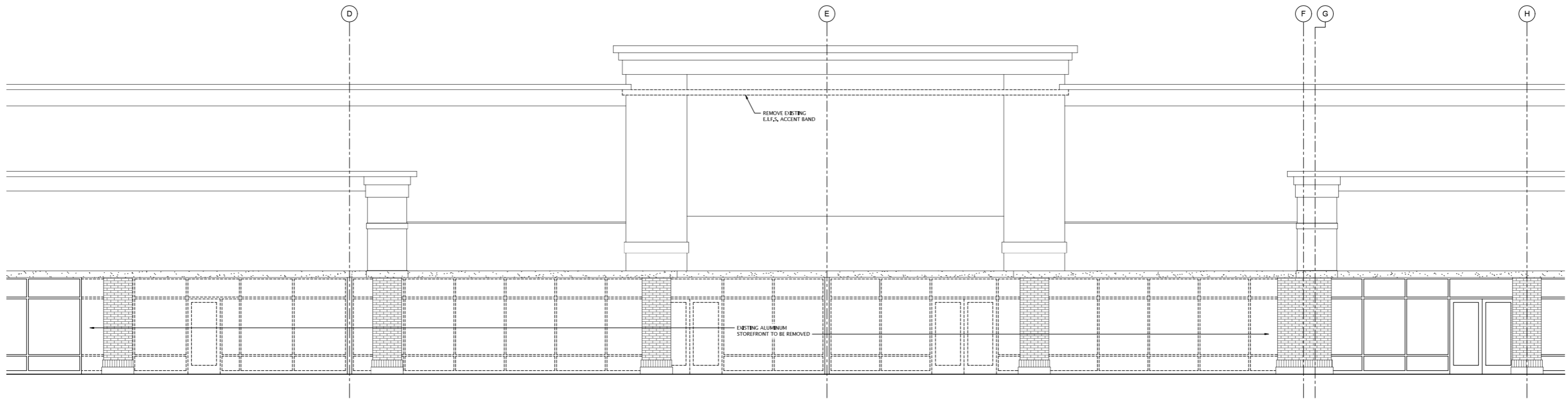
**T C**

Cover Sheet  
Renov. & Add. for T J Maxx  
1505 North State Street  
Greenfield, IN 46140

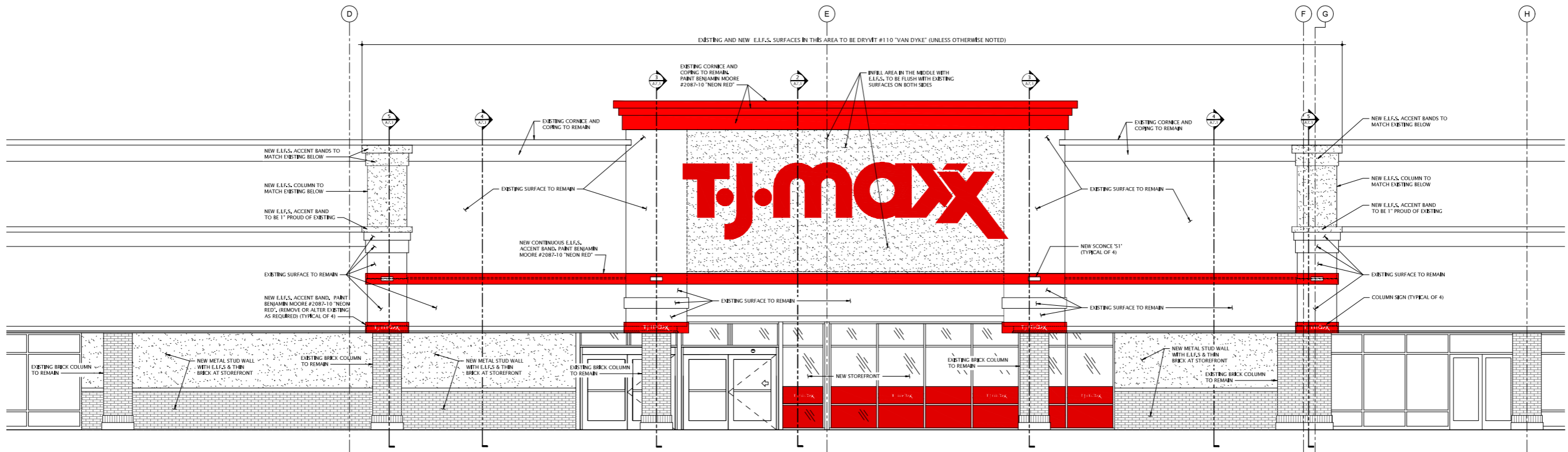
PROJECT NUMBER	18007b
ISSUE DATE	9-12-2024
DRAWN BY	TMK
CHECKED BY	TS

SHEET NUMBER  
**A0.1**

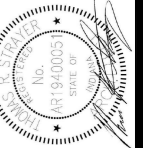




**Existing Storefront Elevation**  
1/4" = 1'-0" (LOOKING EAST)



**New Storefront Elevation**  
1/4" = 1'-0" (LOOKING EAST)



REV	DATE	ISSUED FOR CONSTRUCTION
1	9-12-2024	

All Plans, Designs, Arrangements and Specifications are prepared by T.S. Moore, P.E., No. ART940003, State of Indiana. The Engineer shall be responsible for the accuracy of the information furnished by the client and for the proper interpretation of the same. The Engineer shall not be responsible for the accuracy of the information furnished by the client or for the proper interpretation of the same. The Engineer shall not be responsible for the accuracy of the information furnished by the client or for the proper interpretation of the same. The Engineer shall not be responsible for the accuracy of the information furnished by the client or for the proper interpretation of the same.

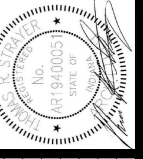
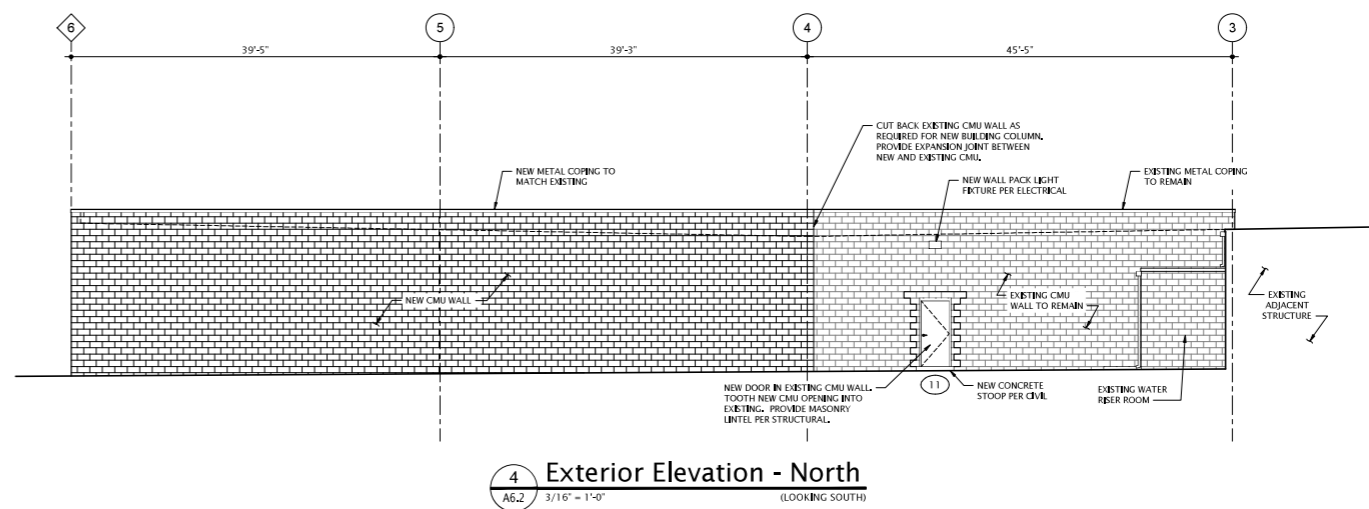
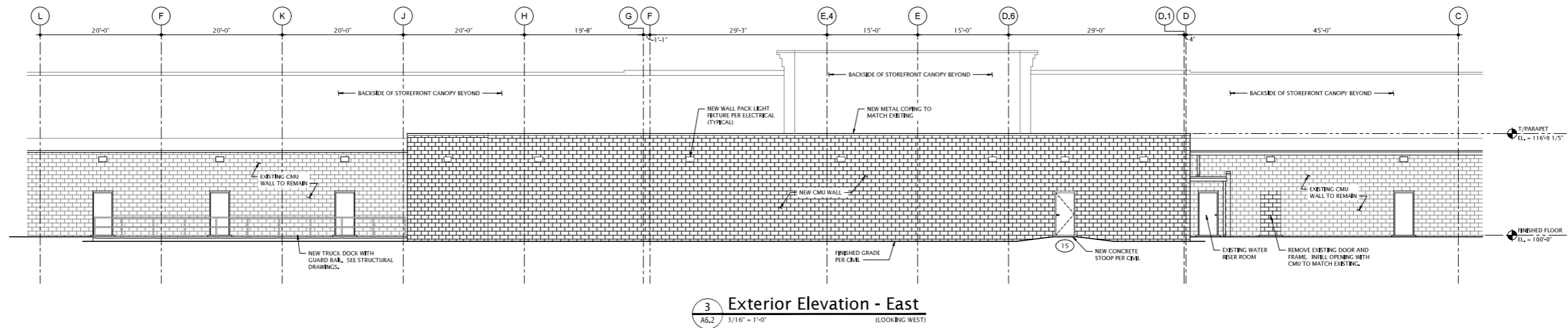
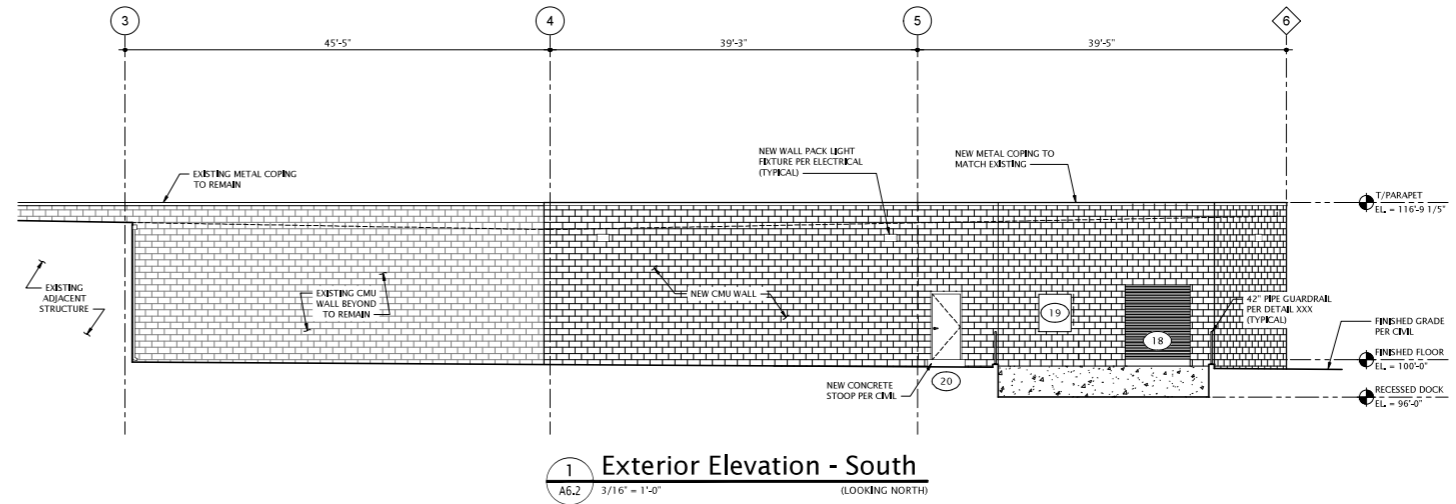
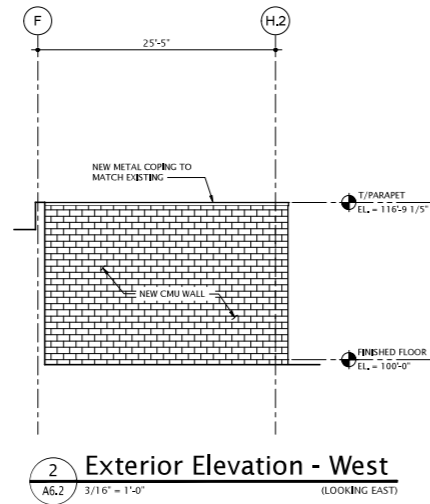
**ARCHITECTURE**  
T S C

**T S C**

**Storefront Elevations**  
**Renov. & Add. for T J Maxx**  
1505 North State Street  
Greenfield, IN 46140

PROJECT NUMBER: 18007b  
ISSUE DATE: 9-12-2024  
DRAWN BY: TMK  
CHECKED BY: TS

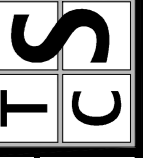
SHEET NUMBER  
**A6.1**



REVISION	DATE	ISSUED FOR CONSTRUCTION
	9-12-2024	

All Plans, Designs, Arrangements and Specifications are subject to change without notice. The user of these drawings shall be responsible for verifying the accuracy of the information shown hereon. The user shall be held responsible for any errors, omissions or delays caused by the use of these drawings. The user shall indemnify and hold the architect harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be incurred by the architect as a result of the use of these drawings.

ARCHITECTURE  
T J Maxx  
1505 North State Street  
Greenfield, IN 46140



Exterior Elevations  
Renov. & Add. for T J Maxx  
1505 North State Street  
Greenfield, IN 46140

PROJECT NUMBER	18007b
ISSUE DATE	9-12-2024
DRAWN BY	TMK
CHECKED BY	TS

SHEET NUMBER

A6.2